

Agenda Planning Committee

Wednesday 6 September 2023 at 5.00 pm
Sandwell Council House, Freeth Street, Oldbury, B69 3DB

- | | | |
|---|--|---------|
| 1 | Apologies for Absence | 7 - 8 |
| | To receive any apologies for absence. | |
| 2 | Declarations of Interest | 9 - 10 |
| | Members to declare any interests in matters to be discussed at the meeting. | |
| 3 | Minutes | 11 - 22 |
| | To confirm the minutes of the meeting held on 26 July 2023 as a correct record. | |
| 4 | Planning Application - DC/23/68117 - 204
Lightwoods Road, Smethwick, B67 5AZ | 23 - 36 |
| | Proposed glazed customer seating area extension to frontage (resubmission of refused planning permission DC/22/66636). | |



- | | | |
|----|---|-----------|
| 5 | Planning Application - DC/23/68252 - 576-578
Bearwood Road, Smethwick, B66 4BW | 37 - 54 |
| | Proposed change of use of part-ground floor, first and second floors and two-storey rear extension to accommodate 19 No. bedsits (house in multiple occupation - HMO) with 2 No. rear dormer windows, 2 No. external staircases, bicycle parking and bin store. | |
| 6 | Planning Application - DC/23/68282 - 15 Cedar Road, Wednesbury, WS10 0BD | 55 - 66 |
| | Proposed single and two storey side and rear extension. | |
| 7 | Planning Application - DC/23/68347 - 574 Hagley Road West, Oldbury, B68 0BS | 67 - 80 |
| | Proposed single storey rear extension to create 1 No. self-contained flat. | |
| 8 | Planning Application - DC/23/68391 - 5 Little Croft, Great Barr, Birmingham, B43 6DA | 81 - 90 |
| | Proposed rendering to front, side and rear, paved driveway, and replacement roof with side windows on existing lean to extension. | |
| 9 | Planning Application - DC/23/68448 - 180 Walsall Road, West Bromwich, B71 3LH | 91 - 102 |
| | Proposed single and two storey side and rear extension, front canopy and garage conversion into habitable space. | |
| 10 | Planning Validation Checklist | 103 - 150 |
| | That consideration is given to the adoption of the revised Planning Validation Checklist. | |
| 11 | Decisions of the Planning Inspectorate | 151 - 160 |
| | To consider and note the Decisions of the Planning Inspectorate. | |

12 **Applications Determined Under Delegated Powers**

161 - 190

To consider and note the Applications Determined Under Delegated Powers.

Shokat Lal

Chief Executive

Sandwell Council House

Freeth Street

Oldbury

West Midlands

Distribution

Councillor Millar (Chair)

Councillors Chidley, Chapman, Fenton, Fisher, S Gill, Kaur, Kordala, Loan, Pall, Preece, N Singh, Tromans, Uppal, J Webb and Younis

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Planning Committee

Apologies for Absence

To receive any apologies for absence from the members of the Committee.



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Planning Committee

Declarations of Interest

Members to declare any interests in matters to be discussed at the meeting.



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Minutes of Planning Committee

**Wednesday 26 July 2023 at 5.00pm
in the Council Chamber, Sandwell Council House, Oldbury**

Present: Councillor Millar (Chair)
Councillors Chidley (Vice-Chair);
Chapman, Fenton, Fisher, SS Gill, Kaur, Loan, Pall, Preece,
N Singh, Tromans, Webb and Younis.

Officers: John Baker (Development Planning and Building Consultancy
Manager); Alison Bishop (Development Planning Manager);
Barry Ridgeway (Highway Asset and Statutory Functions
Manager); Andy Thorpe (Healthy Urban Development Officer);
Rory Stracey (Solicitor) and Stephnie Hancock (Deputy
Democratic Services Manager).

61/23 Apology for Absence

An apology for absence was received from Councillor Uppal.

62/23 Declarations of Interest

There were no declarations of interest made.

63/23 Minutes

Resolved that the minutes of the meeting held on 28 June
2023 are approved as a correct record.



Planning Application DC/22/67796 - Proposed single storey detached coffee shop with drive thru, new access, parking, enclosed bin area, landscaping and associated infrastructure. Land at Horner Way Rowley Regis

The Development Planning and Building Consultancy Manager reported that an additional condition was now recommended, in relation to the provision of a new vehicular crossover.

No objectors were present.

The applicant's agent was present and addressed the Committee with the following points:-

- the proposal was adjacent to the town centre and complementary to town centre uses;
- the principle of commercial use was already established on the site;
- detailed surveys had been carried out, taking into account estimated trip rates and the Highways Service ad no objections;
- there would be no environmental impact and controls and conditions had been agreed with Public Health;
- there would be no impact on the amenity of the surrounding properties;
- the site would be well managed and a noise management plan would be in place, as well as a plan for the management of waste;

The Committee was minded to approve the application, subject to the conditions now recommended.

Resolved that Planning Application DC/22/67796 (Proposed single storey detached coffee shop with drive thru, new access, parking, enclosed bin area, landscaping and associated infrastructure. Land at Horner Way Rowley Regis) is approved, subject to conditions relating to:-



- i) external materials;
- ii) contamination;
- iii) hours of use (05.00 to 23.00 on any day including Sundays and bank holidays);
- iv) noise management plan;
- iv) construction method statement;
- v) vehicle parking and manoeuvring areas to be installed and retained;
- vi) external lighting scheme;
- vii) air Quality Assessment to include a management plan to protect employees from pollution;
- ix) electric Vehicle Charging points;
- x) hard and soft landscaping to include retention of boundary trees and root protection measures.
- xi) boundary treatments;
- xii) drainage including SUDS.
- xiii) dust Management Plan;
- xiv) low NOx boilers;
- xv) cycle parking;
- xvi) refuse storage;
- xvii) use restriction to a coffee shop;
- xviii) new vehicular crossover.

65/23

Planning Application DC/23/67863 - Proposed change of use from general industrial to treatment, remediation and recovery facility for contaminated soils, construction, demolition and excavation of waste with 1 No. soil treatment shed and 4 No. office/meeting rooms, 1 No. mess drying room, toilet block, store, weighbridge unit, picking station, decontamination unit, clean material area and 2 No. holding tanks and covered post treatment areas, oversized processing area, parking and the creation of a new vehicular access - Temporary planning permission for 5 years. Land West of Bridge Street North Smethwick

Councillors who had attended the site visit that had taken place on 28 June 2023, in relation to this application, indicated that they had been lobbied.



The site was allocated for residential use in the Development Plan, and therefore a temporary permission of five years was recommended. If the Committee was minded to grant planning permission, the Council would need to grant an exception to the Development Plan to enable the application to proceed.

The Development Planning and Building Consultancy Manager reported that an additional condition was now recommended requiring the provision of a dropped kerb.

No objectors were present.

The applicant's agent was present and addressed the Committee with the following points:-

- the primary operations would be carried out in the existing high bay warehouse and a covered picking station;
- clean, treated material would be stored in undercover bays, prior to being exported off site;
- extracted contaminated materials would be stored in an enclosed skip;
- over-sized materials would be stored at the western end of the site, before being recycled into aggregate;
- the materials currently stored on site were non-hazardous, related to the permitted demolition of buildings on site, and would be moved off site in a safe and controlled manner to nearby recycling facilities. Whilst the material remained on site, it was sprayed regularly with a dust suppression unit;
- there were dust monitoring apparatus around the perimeter of the site and wind conditions were monitored daily;
- no materials were moved during windy conditions and when removed, materials were covered in dust sheets;
- an updated noise assessment had been submitted and there were no objections from the Council's noise team;
- a drainage scheme had already been sent to Lead Local Flood Authority for review;
- all storm water would be routed to storage tanks on site and tested before being discharged into the public sewer connection;



- an upstand kerb was proposed around the site, to contain any potential contaminated storm water and prevent it from entering the canal;
- the site would operate in the same way as the recently closed facility at Horseley Fields, Tipton, which was located much closer to residential properties;
- no complaints had been received in relation to the previous facility at Horseley Fields;
- the operation would be regulated by the Environment Agency.

In response to members' questions to the applicant/agent and the officers present, the Committee noted the following responses:-

- the key concerns raised by residents related to noise and dust, and the conditions proposed would address those concerns;
- the site currently had permission for unrestricted industrial use;
- there was currently no activity on the site, pending planning permission;
- the proposed drainage scheme was currently being reviewed by the Lead Local Flood Authority;
- there were no conditions attached to the previous demolition of buildings on the site
- provision of a wheel wash facility was included in the application details so a condition was not necessary;
- Public Health was satisfied with the proposal;
- the operation was moving due to the operating licence for the previous site ending, and the site being sold;
- the facility would be treating waste from the development of HS2;
- there would be a continuous contract for road sweeping and a better wheel washing facility at the new site;
- international environmental and drainage experts had been consulted on the proposal;
- there were many different types of asbestos, and there as minimal fibre release from the type received by the facility;



- there were a range of enforcement powers available to the Council if conditions were not complied with, and the Environment Agency could also take action.

Members made reference to the industrial history of the area, and the “Black Country” name in recognition of that. The Committee was satisfied that the proposed conditions and reassurances from the application addressed the concerns raised by objectors and was minded to grant planning permission.

Resolved that, subject to the Council granting an exception to the Development Plan, Planning Application DC/23/67863 (Proposed change of use from general industrial to treatment, remediation and recovery facility for contaminated soils, construction, demolition and excavation of waste with 1 No. soil treatment shed and 4 No. office/meeting rooms, 1 No. mess drying room, toilet block, store, weighbridge unit, picking station, decontamination unit, clean material area and 2 No. holding tanks and covered post treatment areas, oversized processing area, parking and the creation of a new vehicular access - Temporary planning permission for 5 years. Land West of Bridge Street North Smethwick) is approved for a temporary period of five years, subject to conditions relating to:-

- i) air quality assessment and mitigation measures;
- ii) submission of noise mitigation measures and calculations to demonstrate noise from the proposed use shall not exceed the background 60-minute LA90 by more than 5 dBA on any day including noise from the operation of the mobile crusher when it is used on site;
- iii) noise management plan;
- iv) dust management plan implementation;
- v) all processing of contaminated materials with the exception of the handpicking asbestos station to be carried out within the existing building;
- vi) no external storage above 4m in height measured from the natural ground level;
- vii) external materials;
- viii) electric vehicle charging points;



- ix) hours of operation being 8.00 to 16.30 Monday to Friday, 8.00 to 13.30 Saturdays with no working on Sundays and Bank Holidays;
- x) hours of operation of the crushing and screening operation;
- xi) vehicle parking and manoeuvring areas to be provided and retained;
- xii) site entrance to installed in accordance with details shown on plan reference 06223-A-120 REV P0;
- xiii) foul drainage;
- xiv) surface water drainage scheme;
- xv) site investigation;
- xvi) cycle parking;
- xvii) external lighting scheme;
- xviii) provision of new dropped kerb.

66/23

Planning Application DC/23/68109 - Retrospective change of use from bank to restaurant/takeaway, new shop front, external extraction ducts and flue to rear (ENF/22/11916). 774 - 776 Hagley Road West Oldbury

Further to Minute No. 54/23, (of 28th June 2023) the Development Planning and Building Consultancy Manager reported that the applicant had confirmed ownership of the forecourt and that it would be used for parking. Members also noted that the petition submitted at the previous meeting had been considered by planning officers.

An objector was present and addressed the Committee with the following points:-

- the proposal was double the size of the existing premises and would therefore create more problems;
- concerns remained around noise pollution, lighting, waste, and rats;
- the applicant had not followed correct process and had no respect for residents;



- granting permission would give subsequent tenants permission to operate as a takeaway.

Councillor Anandou was also present and addressed the Committee with the following points:-

- there were no measurements on the plan, and it was unclear how delivery vehicles would gain access if there were vehicles parked on the forecourt, or if delivery vehicles would fit through the access way to the rear;
- the rear access was not marked;
- the site was located on a busy road and the proposal would impact on traffic travelling to the city;
- would fat traps be fitted?

The applicant was also present and addressed the Committee with the following points:-

- there was a bin store at the rear and arrangements were in place for waste management/disposal;
- there was sufficient space to transport waste off the site;
- a full time cleaner would be employed, however some customers would drop litter, despite best efforts to discourage it;
- pest control visited the premises two a quarter and no evidence of rats had been found;
- there would be 15 parking spaces provided;
- the access to the rear was wide enough to accommodate a van;
- the forecourt would be retained for parking, and the “Keep Clear” area would also be retained;
- the premises would be open for business from 8am, but open from 7am for preparation;
- local people welcomed the proposal.

Members noted that there were no concerns from the Police, and the premises appeared to be operating at present with no evidence of anti-social behaviour or vermin. It was also felt that the change from a takeaway to a restaurant would reduce litter.



Resolved that Planning Application DC/23/68109 (Retrospective change of use from bank to restaurant/takeaway, new shop front, external extraction ducts and flue to rear (ENF/22/11916). 774 - 776 Hagley Road West Oldbury) is approved, subject to conditions relating to:-

- i) refuse storage/refuse management;
- ii) retention and use of the extraction system;
- iii) implementation and retention of the parking arrangements;
- iv) a noise management plan.

67/23

Planning Application DC/23/68117 - Proposed glazed customer seating area extension to frontage (resubmission of refused planning permission DC/22/66636). 204 Lightwoods Road Smethwick

The Development Planning and Building Consultancy Manager reported that an amended plan showing reduced seating had been received. Two additional conditions were now recommended requiring obscured glazing to the side return panel facing 203 Lightwoods Road, no amplified music in the extension area, and the extension area to be vacated by 10.30pm.

Councillor Piper present and addressed the Committee with the following points:-

- it was not clear what the applicant was seeking to do;
- the applicant had previously breached licensing conditions, playing amplified music beyond the permitted hours;
- clarification was needed on the material of the roof.

The applicant was present and addressed the Committee with the following points:-

- the restaurant was a family business and had struggled during the pandemic;



- the extension would provide a waiting area for customers waiting to be seated;
- there were currently 35 covers and it was proposed to double this number;
- the extension would be a solid structure with an electric retractable roof.

The Development Planning and Building Consultancy Manager advised the Committee to defer consideration of the application to enable clarification to be sought on the type of roof.

Resolved that consideration of Planning Application DC/23/68117 (Proposed glazed customer seating area extension to frontage (resubmission of refused planning permission DC/22/66636). 204 Lightwoods Road Smethwick) is deferred to enable clarification to be sought on the roof of the proposed extension.

68/23

Planning Application DC/23/68282 - Proposed single and two storey side and rear extension. 15 Cedar Road Wednesbury.

The Development Planning and Building Consultancy Manager recommended an additional condition requiring the provision of a new dropped kerb.

An objector was present and addressed the Committee with the following points:-

- the measurements were unclear and the proposal would encroach over his border;
- the houses in the street were mostly two and three bedroom, and a five bedroom house would exacerbate existing parking issues in a narrow road;
- the applicant frequently parked his car/s across neighbouring driveways;
- the extension would block light to neighbouring properties on both sides;
- the property was council-owned.



The applicant was not present.

The Development Planning and Building Consultancy Manager reported that the applicant had confirmed ownership of the property.

The Committee was minded to defer consideration of the application to enable a site visit to be carried out.

Resolved that consideration of Planning Application DC/23/68282 (Proposed single and two storey side and rear extension. 15 Cedar Road Wednesbury.) is deferred to allow a site visit to be varied out by the Committee.

69/23

Planning Application DC/23/68304 - Proposed change of use from Methodist church to 9 No. self-contained studio apartments, fenestration alterations, bike shelter and bin store, parking and landscaping. Lawrence Lane Methodist Church Lawrence Lane Cradley Heath

There was no applicant or objector present.

Resolved that Planning Application DC/23/68304 (Proposed change of use from Methodist church to 9 No. self-contained studio apartments, fenestration alterations, bike shelter and bin store, parking and landscaping. Lawrence Lane Methodist Church Lawrence Lane Cradley Heath) is approved, subject to conditions relating to:-

- i) cycle parking, provision and retention;
- ii) waste storage, provision and retention;
- iii) EVC bays, provision and retention;
- iv) low NOx boilers, provision and retention;
- iv) construction method statement; and
- v) provision and retention of car parking.



70/23

Decisions of the Planning Inspectorate

The Committee noted the Decisions of the Planning Inspectorate in relation to appeals against refusal of planning permission as follows:-

Application No.	Address	Decision
DC/22/67549	68 Myvod Road Wednesbury WS10 9QE	Allowed
DC/22/67022	Lock up garages to rear of 128 Dog Kennel Lane Oldbury B68 9NA	Allowed

71/23

Applications Determined Under Delegated Powers

The Committee noted the Applications Determined Under Delegated Powers by the Director – Regeneration and Growth, under powers delegated to him, as set out in the Council's Constitution.

Meeting ended at 6.32pm.

Contact: democratic_services@sandwell.gov.uk



Report to Planning Committee

6 September 2023

Application Reference	DC/23/68117
Application Received	23 March 2023
Application Description	Proposed glazed customer seating area extension to frontage (resubmission of refused planning permission DC/22/66636).
Application Address	204 Lightwoods Road Smethwick B67 5AZ
Applicant	Mr Deniz Akgul
Ward	Abbey
Contact Officer	Carl Mercer carl_mercer@sandwell.gov.uk

1 Recommendations

1.1 That planning permission is granted subject to conditions relating to:

- i) Materials shall be submitted for approval;
- ii) All glazing to conform to Sound Reduction Index (SRI) value of 38 dB Rw + C, which corresponds to Pilkington Optiphon 6mm/16mm argon/6.6mm;
- iii) Windows to be non-opening;
- iv) Seating limited to 20 customers;
- v) Provision of covered waste storage area;




- vi) Side return panel facing 203 Lightwoods Road to be obscurely glazed and retained as such;
- vii) No amplified music in the extension area;
- viii) The glazed extension area shall only be in use between 11:00 and 22:30 on any day;
- ix) Details of any external plant (e.g. air conditioning units etc) shall be provided and approved prior to installation.

2 Reasons for Recommendations

- 2.1 The appearance of the glazed extension raises no significant design concerns, the additional seating area would not appreciably exacerbate existing parking issues and the glazed areas would address the noise issues raised, subject to appropriately worded conditions.

3 How does this deliver objectives of the Corporate Plan?

	A strong and inclusive economy
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4 Context

- 4.1 The application was previously reported to your July committee (and the site visited that day) as five objections have been received. The decision was deferred to allow for the applicant to submit further information regarding design.
- 4.2 To assist members with site context, a link to Google Maps is provided below:

[204 Lightwoods Road, Smethwick, B67 5AZ](https://www.google.com/maps/place/204+Lightwoods+Road,+Smethwick,+B67+5AZ)
- 4.3 Since the July committee the applicant has provided two amended plans, clarifying the design and a revised noise specification document.



5 Key Considerations

- 5.1 The site is not allocated within the Development Plan.
- 5.2 The material planning considerations which are relevant to this application are:-

Government policy (NPPF)

Planning history

Amenity concerns – loss of light and/or outlook and overshadowing

Design concerns – appearance, materials and character

Highways considerations - Traffic generation and parking

Environmental concerns – Noise, air quality, pollution and general disturbance

6. The Application Site

- 6.1 The application relates to a restaurant premises situated on the corner of Lightwoods Road and Three Shires Oak Road, Smethwick. The character of the surrounding area is mixed with elements of residential and commercial uses, and the site is situated near to Bearwood town centre.

7. Planning History

- 7.1 There was formerly an unauthorised canopy structure which enclosed the outdoor area immediately in front of the premises and was used for additional seating. The structure was subject to an enforcement notice served by the council and has now been removed.
- 7.2 The applicant had tried to retain the unauthorised structure, but the application was refused due to inappropriate design, poor outlook from the neighbouring property and noise.



7.3 Relevant planning applications are as follows:

DC/22/66636	Proposed pergola system to frontage for customer seating area provision.	Refused 25.03.2022
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8. Application Details

8.1 The applicant now proposes to construct a glazed extension to the outdoor area. The internal area is shown to seat 20 customers (this has been reduced from 32).

8.2 In an attempt to address the reasons for refusal of the last structure, the applicant has provided a contemporary glazed design, offset the side of the structure from the neighbouring property on Lightwoods Road and proposed sound insulated glazing.

9. Publicity

9.1 The application has been publicised by neighbour notification letter with five letters of objection being received.

9.2 Objections

Objections have been received on the following grounds:

- i) Noise;
- ii) Parking;
- iii) Odours, rubbish and pollution;
- iv) Unsightly bin storage and storage on footpath;
- v) The description of the 'pergola' structure; and
- vi) Design not in keeping.

Non-material objections have been raised regarding smoke from vents, environmental health/food hygiene visits and the behaviour of clientele.



These objections will be addressed in section 13 (Material Considerations).

10. Consultee responses

10.1 Highways

Highways have raised concerns regarding the seating area and the trip generation this may generate. Based on the original 32 covers, nine parking space would be required. Highways have also noted that the existing delivery and refuse area would be enclosed and have questioned how deliveries/refuse would be managed. The proximity of the walls from the footpath has been raised as well as the provision of plant pots. The plant pots are removed from the amended plan. In regard to the proximity of the structure from the footpath, there is already an existing wall in place and the proximity of the wall from the highway is not a planning consideration.

10.2 Pollution Control (Noise)

The officer has raised no objection subject to the glazing being to the noise standard noted in the submitted information. The officer was re-consulted on the amended noise details and has suggested a condition stipulating the required noise value of the glazing. I also suggest conditions requiring the area to be vacated by 23:00, no amplified music and no opening windows (which would compromise the noise value of the glazing).

10.3 West Midlands Police

No objection.

11. National Planning Policy

11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to



reflect the character, needs and opportunities for each area. The Framework refers to development adding to the overall quality of the area by achieving high quality design, achieving good architecture and layouts. It also states that developments should only be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

11.2 I am of the opinion that the contemporary glazed approach is of a good design, in accordance with paragraph 126 of the NPPF.

11.3 In respect of paragraphs 111 of the NPPF, I consider it unlikely that the development would have a severe impact on highway safety for the reasons set out in Material Considerations below.

12. Local Planning Policy

12.1 The following policies of the council's Development Plan are relevant:

ENV3: Design Quality

SAD EOS9: Urban Design Principles

12.2 Policies ENV3 and SAD EOS9 refer to well-designed schemes, and I find no reason to refuse the application on design grounds considering the development would be in proportion to the existing building and proposes appropriate materials.

13. Material Considerations

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:



13.2 Planning history

On balance, this proposal overcomes the previous reasons for refusal: the design is appropriate, the outlook matter has been resolved and the noise concerns are lessened.

13.3 Amenity concerns – loss of light and/or outlook and overshadowing

The structure would not be within proximity of other properties as to cause significant amenity concerns. The side elevation has also been stepped off the boundary with the adjacent residential property on Lightwoods Road.

13.4 Design concerns – appearance, materials and character

The previous structure was completely unacceptable, but the current design proposes a contemporary glazed design which is proportionate to the existing building. I appreciate the comments regarding character raised by objectors; however, in this instance I feel that the contrast is appropriate and is fitting for such a use on the edge of a town centre.

13.5 Highways considerations - Traffic generation and parking

I note the concerns raised by Highways, however, the seating area has now been reduced to 20 customers, which can be controlled by condition. Additionally, the previous structure had been in place and used since August 2018 and the parking and road safety team had received no complaints or concerns from local residents relating directly to this establishment during this time. The applicant has referred to a parking agreement with the church opposite to use their car park for customer parking. Whilst there is some reassurance in this approach, this could not be effectively controlled by planning condition if the agreement with the church ended. I have therefore based my recommendation with the church parking excluded from the proposal. In respect of the waste storage, this appears to be in the same position as



it has been for a number of years when viewed on Google street view images. However, I am not disputing objectors' concerns that it can be unsightly and further details for a covered waste storage area can be requested by condition. The matter of storage on the highway would have to be investigated by the highway authority.

13.6 **Environmental concerns – Noise, air quality, pollution and general disturbance**

The issues raised relate to the current operation of an established use and the application would not exacerbate these issues. Indeed, the covered area would lessen the noise impact as customers can currently use this open area – the glazed walls and roofing would prevent such noise from escaping. Existing issues regarding smoke, cooking odours and pollution would need to be reported to Environmental Health. Additionally, the police raise no concerns regarding behaviour.

13.7 **Other matters**

13.8 An objector noted that the description of development did not appear to match what was being proposed as only a canopy was listed. I agreed with this, as the proposal is much more akin to an extension, and the description has been changed in agreement with the applicant's agent to the one before your committee today.

13.9 Whilst plan AJ100 has been amended to provide a revised seating plan, I await submission of AJ099 which requires amendment as this also shows the seating plan. This can be tabled at your meeting.

14. **Conclusion**

On balance the proposal accords with the provisions of relevant development plan policies and there are no significant material considerations which warrant refusal that could not be controlled by conditions.



15 Alternative Options

15.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant policies and there are no material considerations that would justify refusal.

16 Implications

Resources:	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
Legal and Governance:	This application is submitted under the Town and Country Planning Act 1990.
Risk:	None.
Equality:	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
Health and Wellbeing:	None.
Social Value	None.
Climate Change	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

17. Appendices

Context plan
AJ100 REV A







204 LIGHTWOODS ROAD
SMETHWICK
B67 5AZ

PERGOLA SYSTEM PROPOSAL
FOR EXTERNAL SEATING
AREA

SCALE @VARIOUS

DESIGNED BY KS

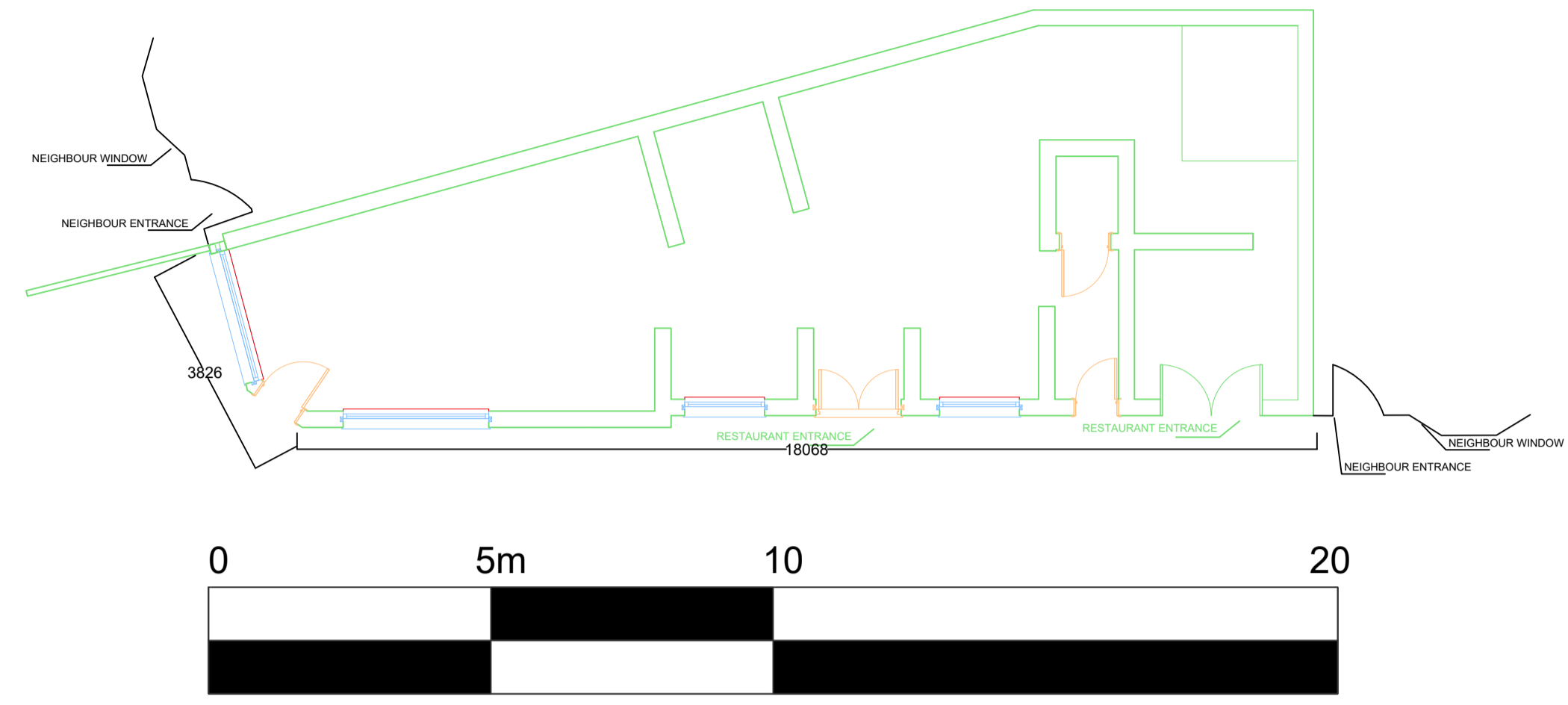
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DATE:26.01.2022

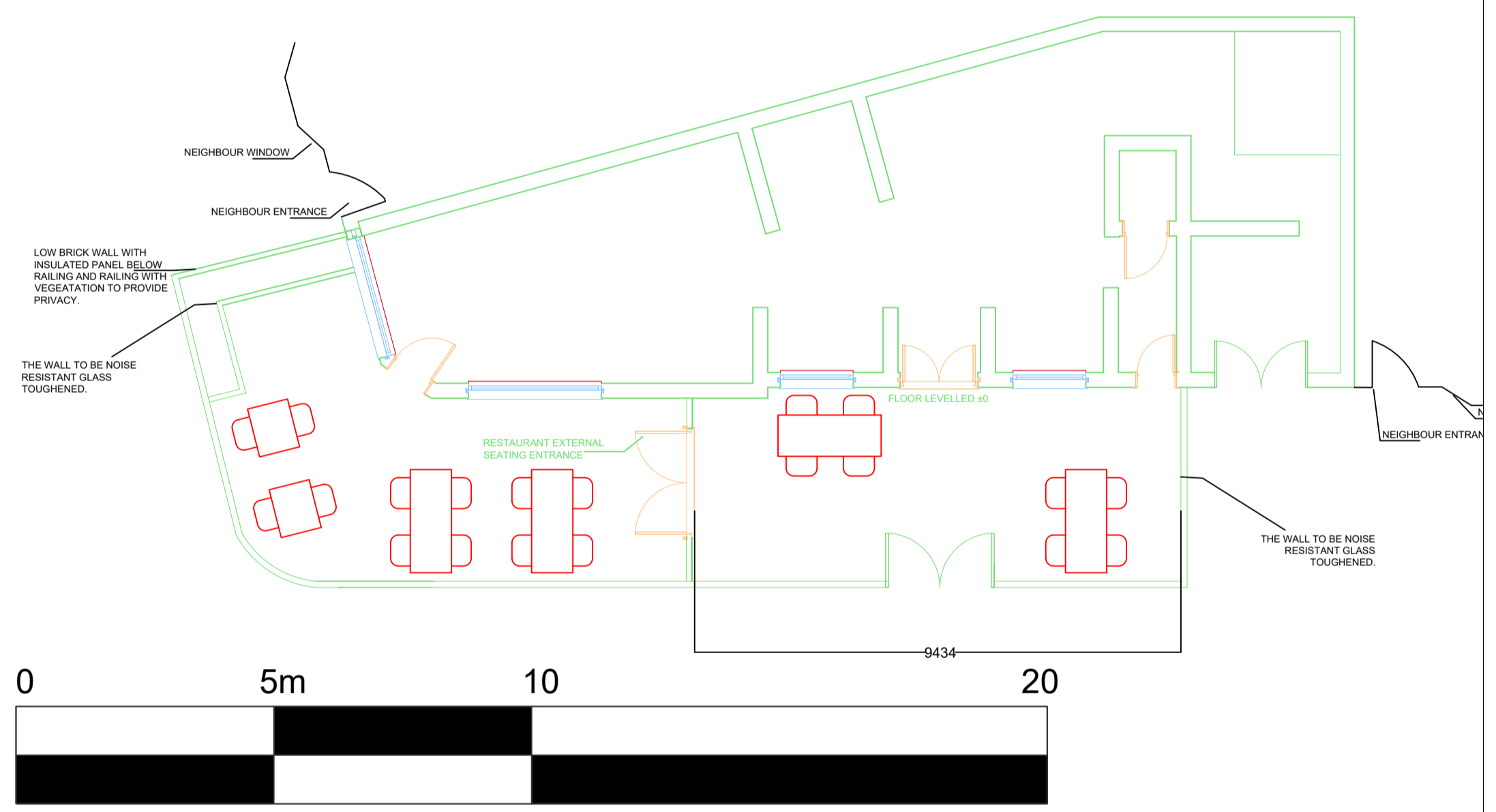
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REVISION : A

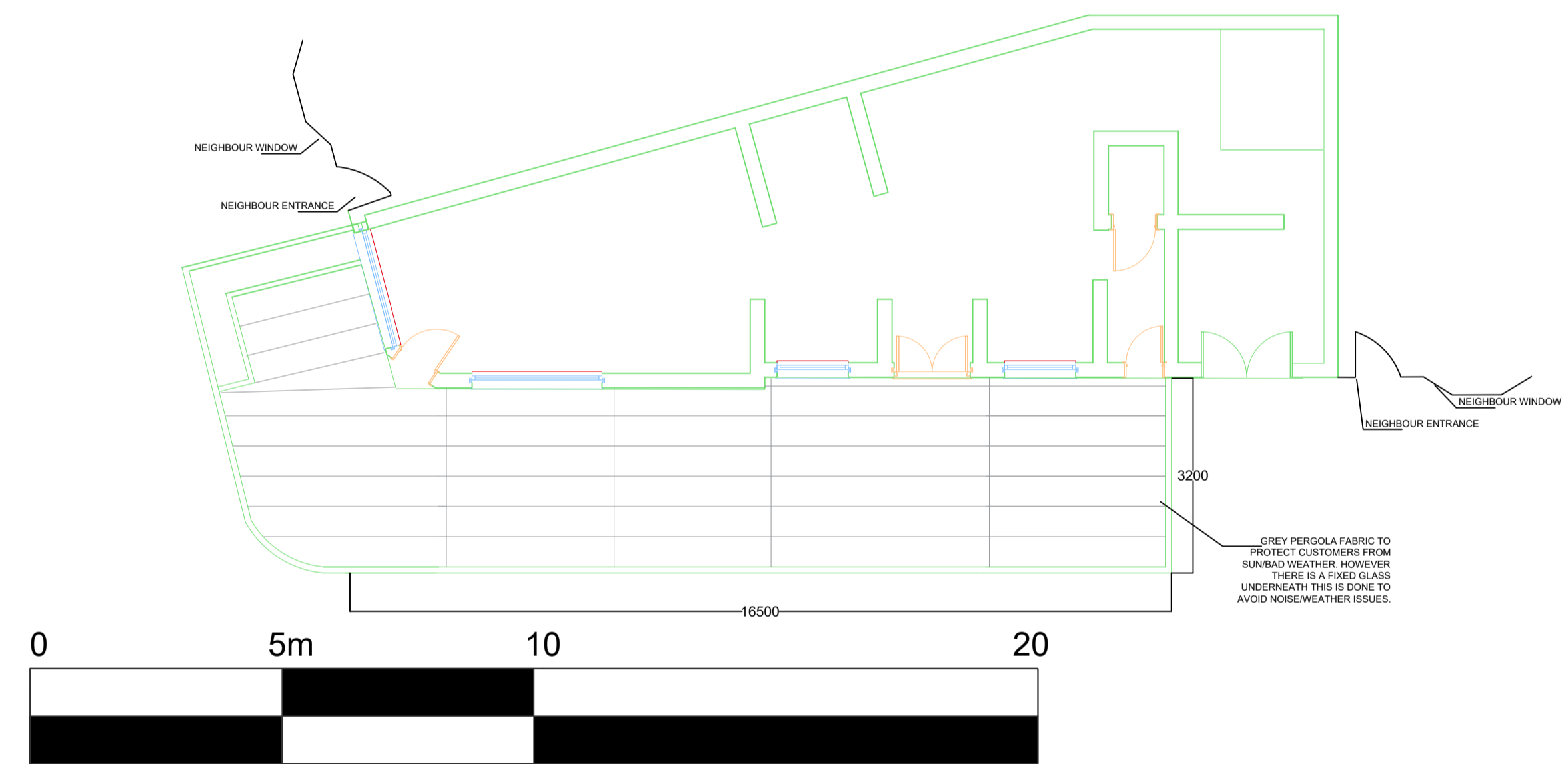
Owner of Nemrut Restaurant would like to install pergolas for the customers to use during winter. Pergola system will be waterproof, and it would be ordered to suit the colours of the external facade of the restaurant and neighboring buildings. It is understood and recognized not to block the view and sunlight of the neighboring buildings with this new pergola system. The 45° angle is measured and the appropriate measures will be taken to avoid disturbing neighbors. Currently the boundary is identified with low brick wall and black railing on top. It would be ideal to keep the existing boundary treatment and owner of the restaurant to install glass wall between neighbor and the restaurant. With this privacy of the customers are kept to a standard and it wont block any view for the neighbors.



EXISTING FLOOR PLAN SCALE 1:100



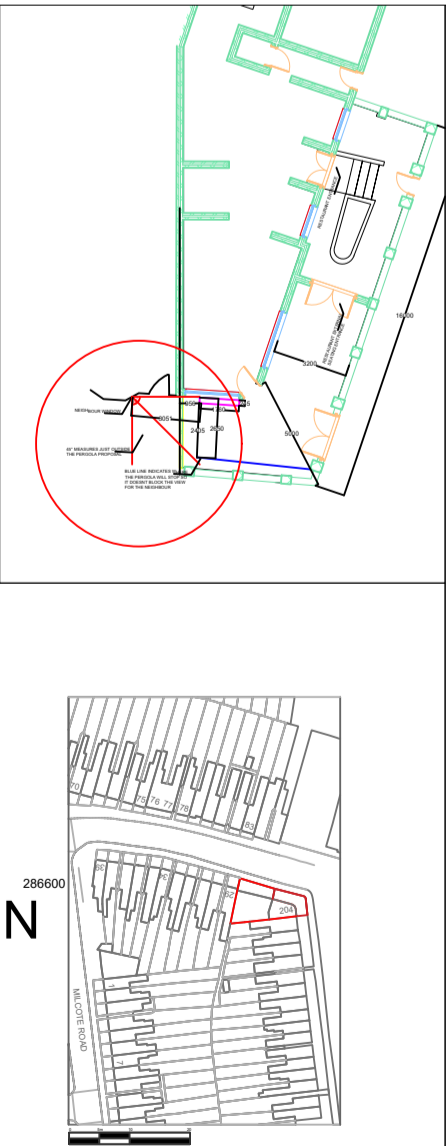
PROPOSED EXTERNAL SEATING AREA SCALE 1:100



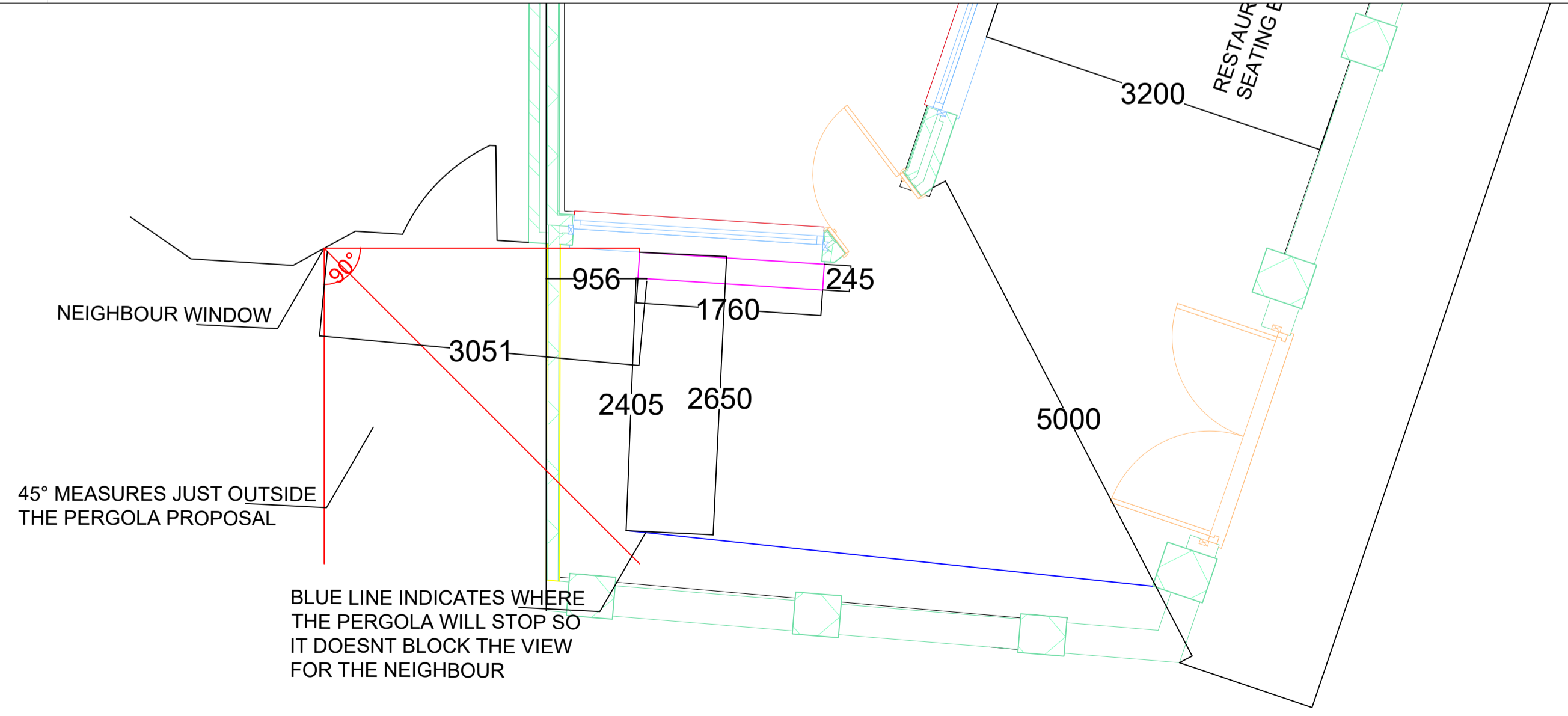
PROPOSED EXTERNAL ROOF PLAN SCALE 1:100



SITE PLAN SCALE 1:500



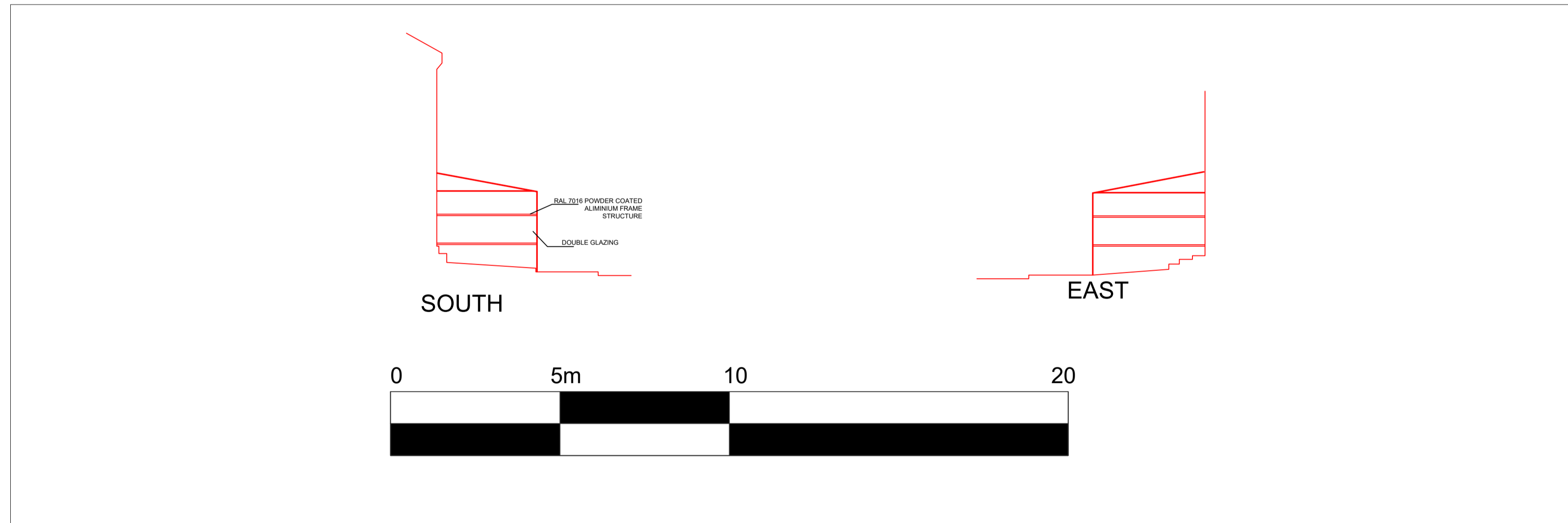
BLOCK PLAN SCALE 1:1250



DETAIL FOR THE 45° VIEW



PROPOSED ELEVATIONS SCALE 1:100



PROPOSED ELEVATIONS SCALE 1:100

204 LIGHTWOODS ROAD, SMETHWICK, B67 5AZ

PERGOLA SYSTEM PROPOSAL FOR EXTERNAL SEATING AREA ELEVATIONS

SCALE:1:100

DESIGNED BY KS

CHECKED BY BS

DATE:26.01.2022

DWG NAME: AJ099

REVISION : B



CLOSED BIN AREA WITH LID

NO NOISE TRANSMISSION GLASS

GLASS LOCKED WITH ARGON GAS FILLED NO NOISE TRANSMISSION. REFER TO MANUFACTURERS NOTE

Please refer to manufacturers note for glass and structural material. Glass is to have no noise transmission, all glass above roof to be locked due to noise. The glass above roof is used to shed natural light to customers rather than being in artificial light. The structure is going to be made from aluminium frame. The colour can match the elevation which is white.

Report to Planning Committee

6 September 2023

Application Reference	DC/23/68252
Application Received	9 May 2023
Application Description	Proposed change of use of part-ground floor, first and second floors and two-storey rear extension to accommodate 19 No. bedsits (house in multiple occupation - HMO) with 2 No. rear dormer windows, 2 No. external staircases, bicycle parking and bin store.
Application Address	576-578 Bearwood Road Smethwick B66 4BW
Applicant	Mr Ahsan Raza
Ward	Abbey
Contact Officer	Carl Mercer carl_mercer@sandwell.gov.uk

1 Recommendations

1.1 That, subject to the receipt of amended plans and confirmation of suitable commercial waste storage, that planning permission is granted subject to conditions relating to:

- i) Materials to match existing building;
- ii) Noise assessment and implementation of recommendations;
- iii) Waste management plan (for the commercial units);




- iv) Construction management plan;
- v) Low NOx boilers;
- vi) Provision and retention of waste storage area;
- vii) Provision and retention of cycle storage (materials to match existing building);
- viii) External lighting scheme;
- ix) No use of staircase or flat roof as external amenity area;
- x) Communal areas to be provided and retained; and
- xi) To be used as HMO accommodation only – not individual dwellinghouses.

2 Reasons for Recommendations

- 2.1 The proposal is considered to be appropriate in this location, would cause no significant harm to residential amenity or highway safety and is acceptable from a policy perspective.

3 How does this deliver objectives of the Corporate Plan?

	Quality homes in thriving neighbourhoods
---	--

4 Context

- 4.1 The application is being reported to your Planning Committee as the proposal has received four objections
- 4.2 To assist members with site context, a link to Google Maps is provided below:

[576-578 Bearwood Road, Smethwick, B66 4BW](#)

5 Key Considerations

- 5.1 The site is within the Bearwood town centre boundary within the Development Plan.



5.2 The material planning considerations which are relevant to this application are:-

- Government policy (NPPF);
- Proposals in the Development Plan;
- Planning history (including appeal decisions);
- Layout and density of building; and
- Parking.

6. The Application Site

6.1 The application relates to a three storey commercial premises situated on the west side of Bearwood Road, within Bearwood town centre.

7. Planning History

7.1 The site was part of several applications refused by the council for conversion to HMOs in 2018. This decision was ultimately overturned by the Planning Inspectorate with considerable costs awarded to the applicant.

7.2 Lawful development certificates have been issued by the council which establish that previous permissions have commenced at the site. Therefore, the site has active consent for a single storey extension and change of use to six bed HMO.

7.3 Relevant planning applications are as follows:

DC/18/61845	Proposed change of use and refurbishment of first and second floors to accommodate a House in Multiple Occupation (Class C4) with four single occupancy bedrooms,	Refused 28.08.2018 Appeal allowed 08.03.2019
-------------	---	--



	together with bicycle parking facilities, refuse and recycling storage and external staircase to rear.	
DC/18/62292	Lawful development certificate for a proposed change of use of upper floors to a house in multiple occupancy (HMO) (Use Class C4).	Refused 10.01.2019
DC/19/63029	Pursuant to planning application DC/18/61845 proposed single storey rear extension to provide two bedsit units together with bicycle parking facilities, refuse and recycling storage, and external alterations.	Approved 12.06.2019
DC/22/66540	Lawful development certificate to confirm that planning permission for change of use and refurbishment of first and second floors to accommodate a House in Multiple Occupation (Class C4) with four single occupancy bedrooms, together with bicycle parking facilities, refuse and recycling storage and external staircase to rear (granted under appeal ref APP/G4620/W/18/3212732) has been lawfully implemented.	Approved 01.04.2022
DC/22/66714	Lawful development certificate to confirm that planning permission for	Approved 20.04.2022



	<p>proposed single storey rear extension to provide two bedsit units together with bicycle parking facilities, refuse and recycling storage, and external alterations (granted under DC/19/63029) has been lawfully implemented.</p>	
--	--	--

8. Application Details

- 8.1 The applicant now proposes a change of use of part-ground floor, first and second floors and two-storey rear extension to accommodate 19 No. bedsits (house in multiple occupation - HMO) with two rear dormer windows, two external staircases, bicycle parking and bin store.
- 8.2 Each bedroom would exceed the minimum room size standard of 6.51m² and the two kitchen/dining areas at ground and first floor would provide 19.5m² and 21.5m² respectively; the minimum standard being 29m² for one kitchen/dining area for 16+ residents.

9. Publicity

- 9.1 The application has been publicised by neighbour notification letter with four letters of objection being received.

9.2 Objections

Objections have been received on the following grounds:

- i) Overdevelopment;
- ii) Waste;
- iii) Parking;
- iv) Too many already;
- v) Out of character;
- vi) Anti-social behaviour; and



vii) Quality of life for neighbours.

These objections will be addressed in section 13 (Material Considerations).

10. Consultee responses

10.1 Highways

Due to previous decisions by the Planning Inspectorate, Highways have no objections.

10.2 Pollution Control (Noise)

The officer has raised no objection subject to a condition requiring a suitable glazing scheme and a construction management plan.

10.3 Pollution Control (Air)

The officer has asked for an air quality mitigation plan; however, other HMOs approved over the last five years have not required such a condition and the rooms fronting the main road already have consent. I therefore do not recommend the inclusion of such a condition.

10.4 West Midlands Police

No objection. The officer mentions HMO licensing, security and building regulation matters, which are outside of the planning remit. The officer also lists the number of licensed HMOs in the area that the police have on record but does not raise an objection. Lighting and cycle storage can be controlled by condition.



10.5 Housing Standards Team

General advice provided for the attention of the applicant regarding building regulations and housing acts.

11. National Planning Policy

11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be considered to reflect the character, needs and opportunities for each area. The Framework refers to development adding to the overall quality of the area by achieving high quality design, achieving good architecture and layouts. It also states that developments should only be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

12. Local Planning Policy

12.1 The following policies of the council's Development Plan are relevant:

DEL1: Infrastructure Provision

HOU1: Sustainable Housing Growth

HOU2: Housing Density, Type and Accessibility

TRAN4: Creating coherent Networks for Cycling and Walking

ENV3: Design Quality

ENV8: Air Quality

SAD CEN 1: Non-Retail uses in Town Centres

SAD EOS9: Urban Design Principles

12.2 Low NOx boilers would be required by condition (DEL1).

12.3 HOU1 states that housing supply will be supplemented by sites which are not allocated as such in the Development Plan.



- 12.4 HOU2 identifies the need for a range of types and sizes of accommodation within the borough and accessibility in terms of sustainable transport to residential services. Given its town centre location, the proposal is compliant with this policy.
- 12.5 The provision of cycle storage would make the proposal compliant with TRAN4. This is proposed as part of the scheme and can be ensured by condition.
- 12.6 ENV3 and SAD EOS9 refer to well-designed schemes that provide quality living environments. The internal room sizes and shared areas of the HMO would exceed housing requirements. Additionally, the extensions would be of a sufficient distance from neighbouring properties as for no significant concerns to be raised regarding amenity.
- 12.7 Air quality mitigation (boilers) can be ensured by condition, in accordance with ENV8.
- 12.8 In respect of SAD CEN 1, the proposal would not detrimentally impact on the ground floor frontage of the units, which would remain as commercial.

13. Material Considerations

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

13.2 Planning history

Whilst each planning application should be dealt with on its merit, it would be negligent to determine the application without having regard to the 2019 appeal decisions for eleven HMOs along Bearwood Road. Planning Committee refused these applications for (inter alia) over-intensification, highway safety and fear of crime. None of the reasons for refusal carried weight with the Inspector, and the appeals were allowed



with heavy costs awarded against the Council. The issues raised above are similar to concerns raised during the determination of the eleven appeal losses and, similarly, I see no justification for refusal of the current application on such grounds, given the principle set by these appeal decisions.

13.3 Overdevelopment

In respect of design, the extensions would be proportionate to the existing building. The amount of rooms is considered to be a large-scale HMO; however, there would be sufficient communal space within the property and the site is within easy walking distance of parks and local amenities. I have considered the potential for twin occupancy rooms as all rooms would be capable of accommodating two persons. Inspector views vary on the use of conditions to limit occupancy, not least due to the difficulty in enforcing numbers; however, the committee may wish to consider the use of such a condition at their discretion.

13.4 Waste

Waste storage is shown on plan and complies with the council's housing standards regarding HMOs (three x 1100 litre domestic waste containers required for up to 18 bedrooms). Any further issues regarding provision can be addressed via HMO licencing. Commercial waste storage has not been shown and further information together with a management plan has been requested from the agent. However, I do not consider this issue insurmountable.

13.5 Parking

Highways do not object to the proposal and the inspector decisions attached limited weight to this issue. It is appreciated that the HMO is larger than other HMOs which have been approved in proximity, but there is as yet no evidence that Highways can provide which demonstrates that these properties are having a detrimental impact on on-street parking.



13.6 Existing HMOs

Objectors have referred to the number of existing HMOs. There is no limit on the number of HMOs permitted in Sandwell, and the town centre environment is suitable for this type of accommodation.

13.7 Out of character

Given the town centre location and the reference to existing HMOs, it cannot be argued that the development would be out of character with its surroundings.

13.8 Anti-social behaviour

Whilst objectors raise concerns in respect of anti-social behaviour, this matter very much hinges on the responsible management of the premises, and some associated matters can be addressed under a licence. West Midlands Police have brought to my attention certain issues which can emanate from HMO accommodation.

13.9 Quality of life for neighbours

Whilst this concern has been raised in the objections, the reasons for the proposal having the potential to affect quality of life of surrounding residents is unclear. I have no reason to suspect that the development would unduly impact on quality of life.

13.10 Other matters

The submitted plans show elevations which do not relate to this application. Amendments have been requested to rectify this issue.



14. Conclusion

On balance the proposal accords with the provisions of relevant development plan policies and there are no significant material considerations which warrant refusal that could not be controlled by conditions.

15 Alternative Options

15.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant policies and there are no material considerations that would justify refusal.

16 Implications

Resources:	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
Legal and Governance:	This application is submitted under the Town and Country Planning Act 1990.
Risk:	None.
Equality:	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
Health and Wellbeing:	None.
Social Value	None.
Climate Change	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and



support renewable and low carbon energy and associated infrastructure, will be welcomed.

17. Appendices

Context plan

Context plan

A100

A101

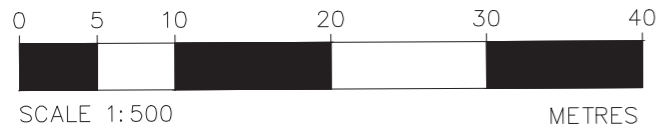
A103 (to be amended)

A105

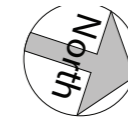
A107

A108

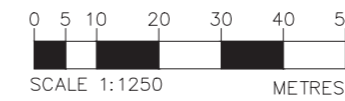
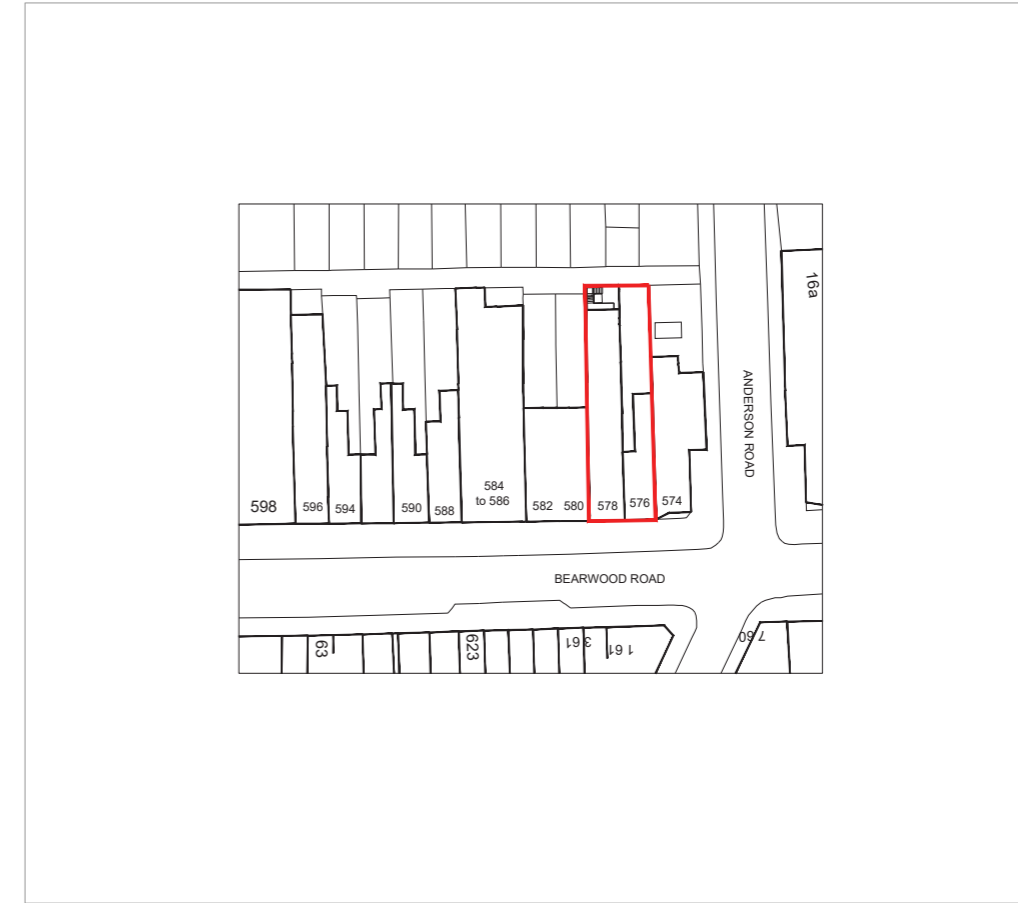




SITE PLAN



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LOCATION PLAN



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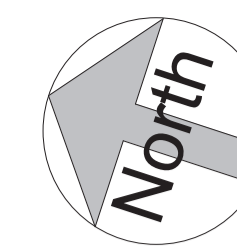
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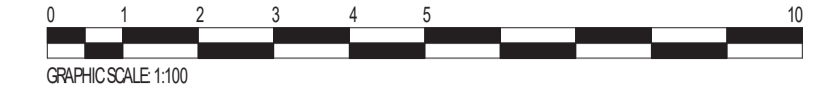
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E: studio@wisharchitects.co.uk

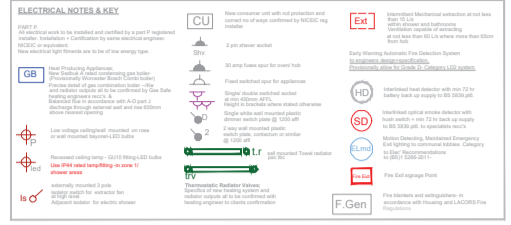
W: www.wisharchitects.co.uk



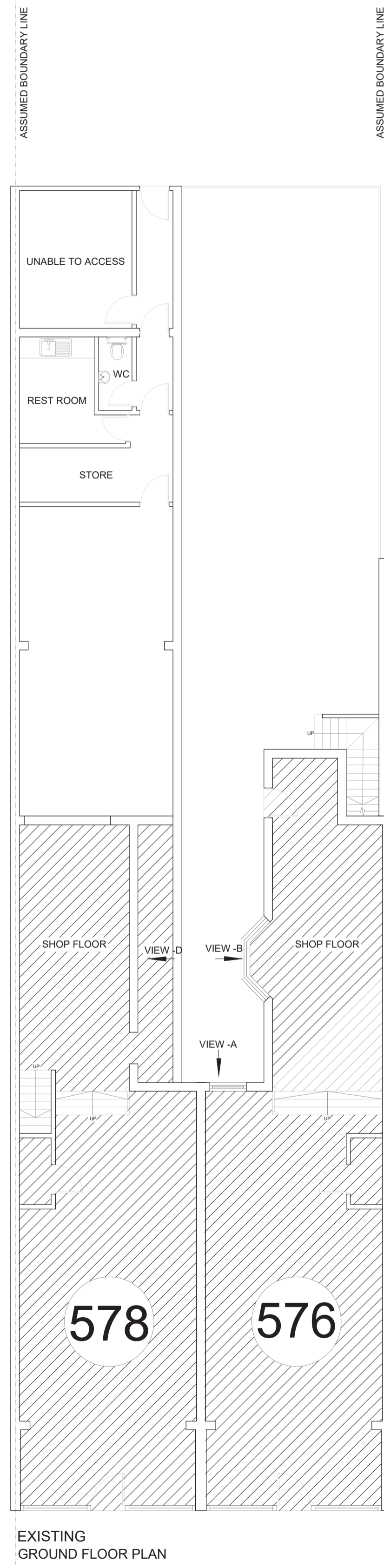
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Copyright Wish Architects Ltd. No implied licence exists. Contractors must verify all dimensions on site before commencing any work or shop drawings. This drawing is to be used for planning and construction purposes only. Subject to statutory approvals and survey. Building areas are indicative. All structural elements to be checked and approved by suit. and Structural Engineer before any construction work commences. Please note the information contained within this drawing is solely for the benefit of the employer and should not be relied upon by third parties.



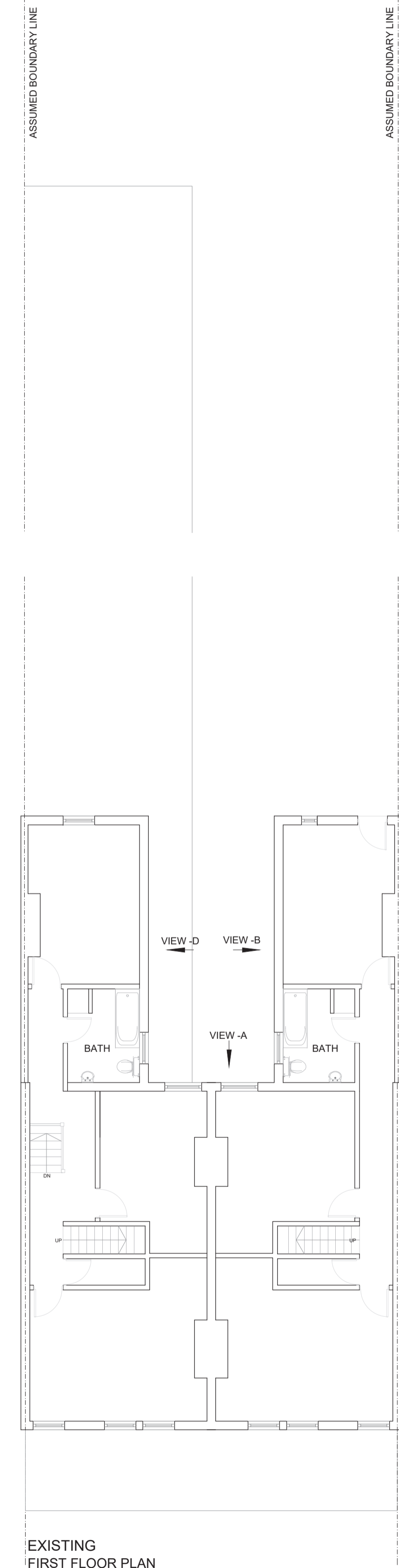
ELECTRICAL NOTES & KEY



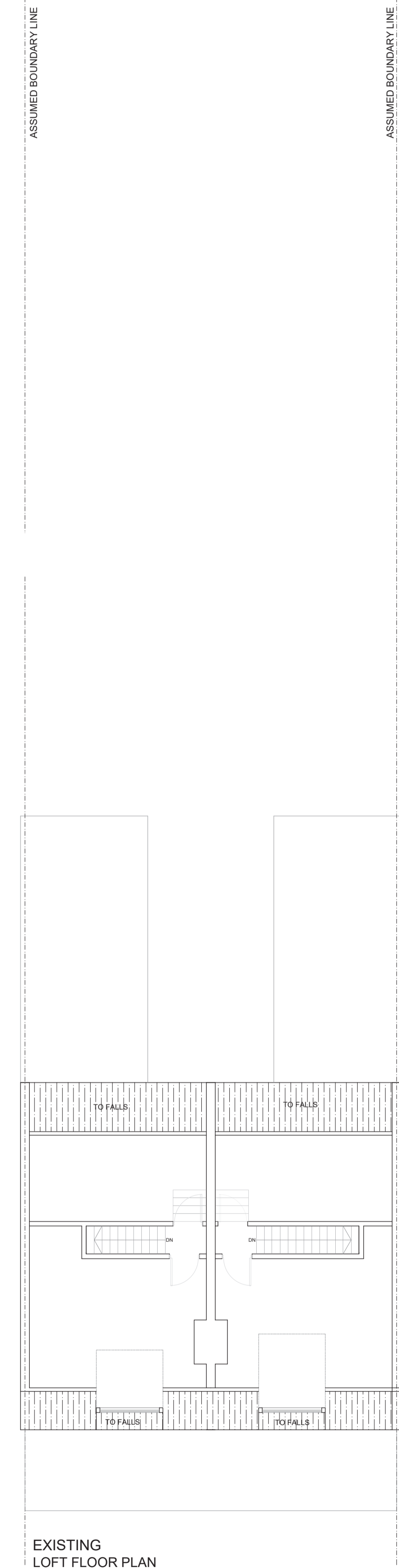
Page 50



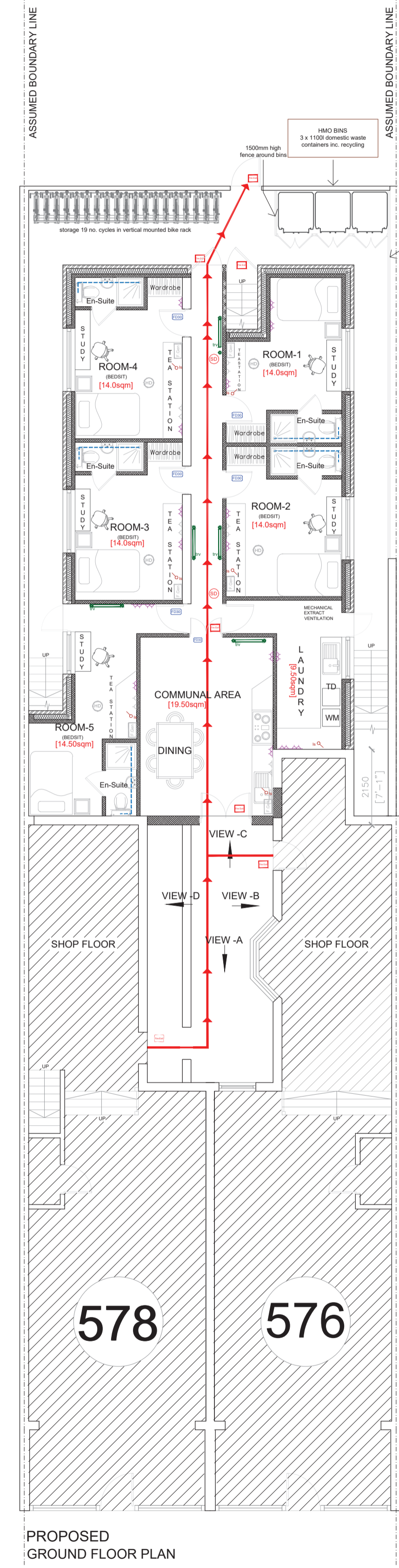
EXISTING GROUND FLOOR PLAN



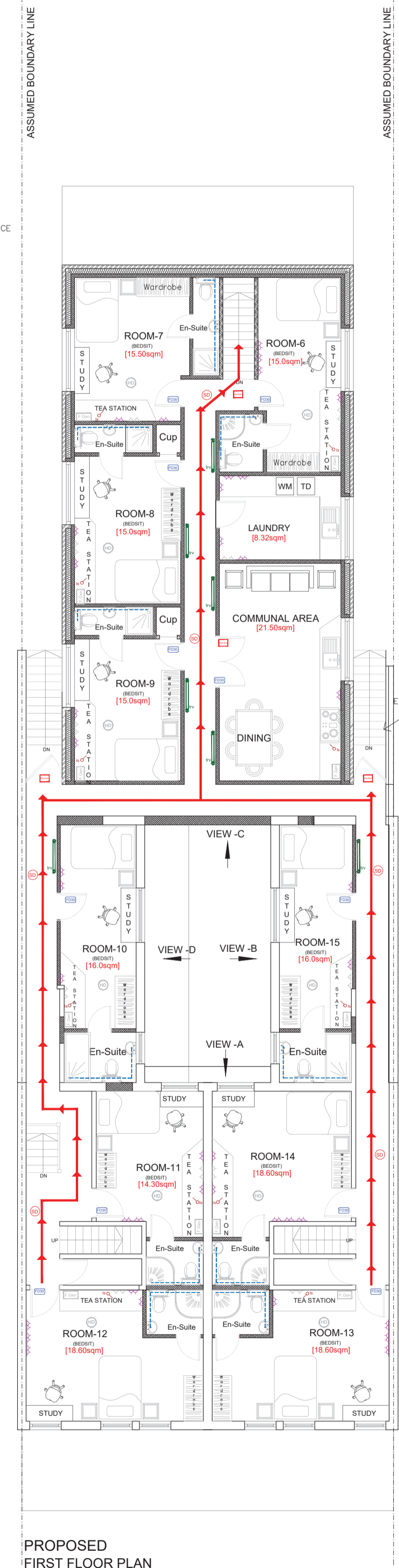
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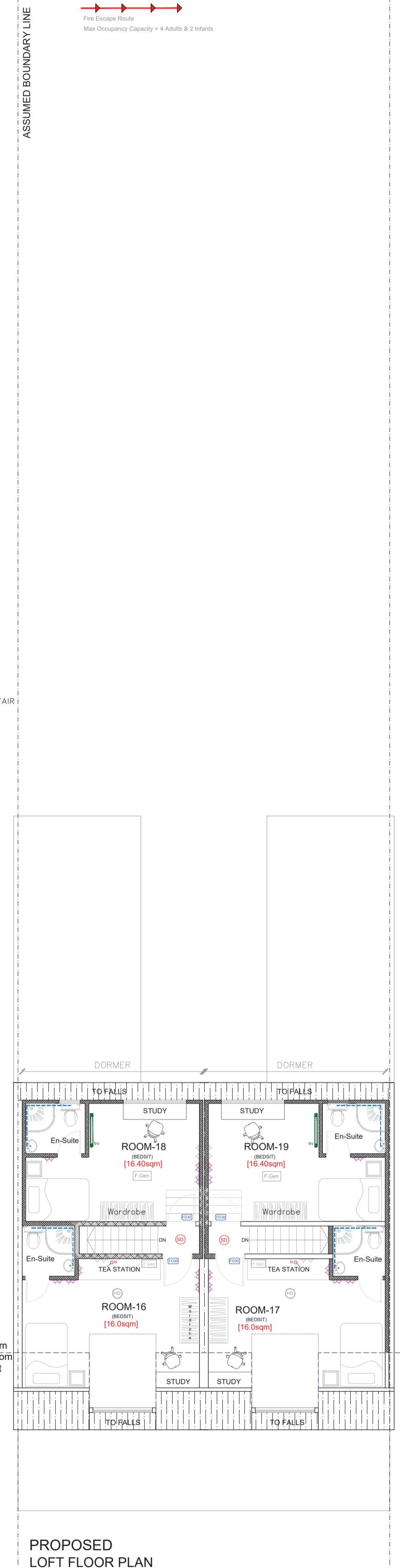
EXISTING LOFT FLOOR PLAN



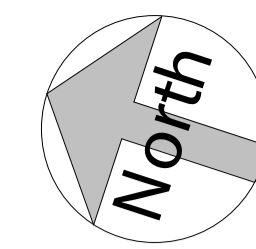
PROPOSED GROUND FLOOR PLAN



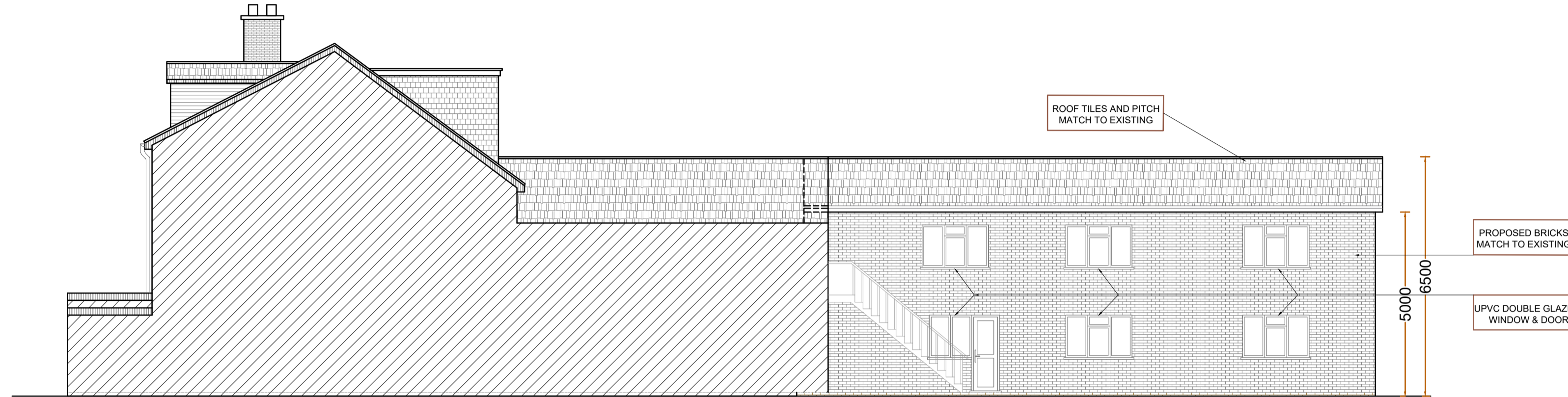
PROPOSED FIRST FLOOR PLAN



PROPOSED LOFT FLOOR PLAN



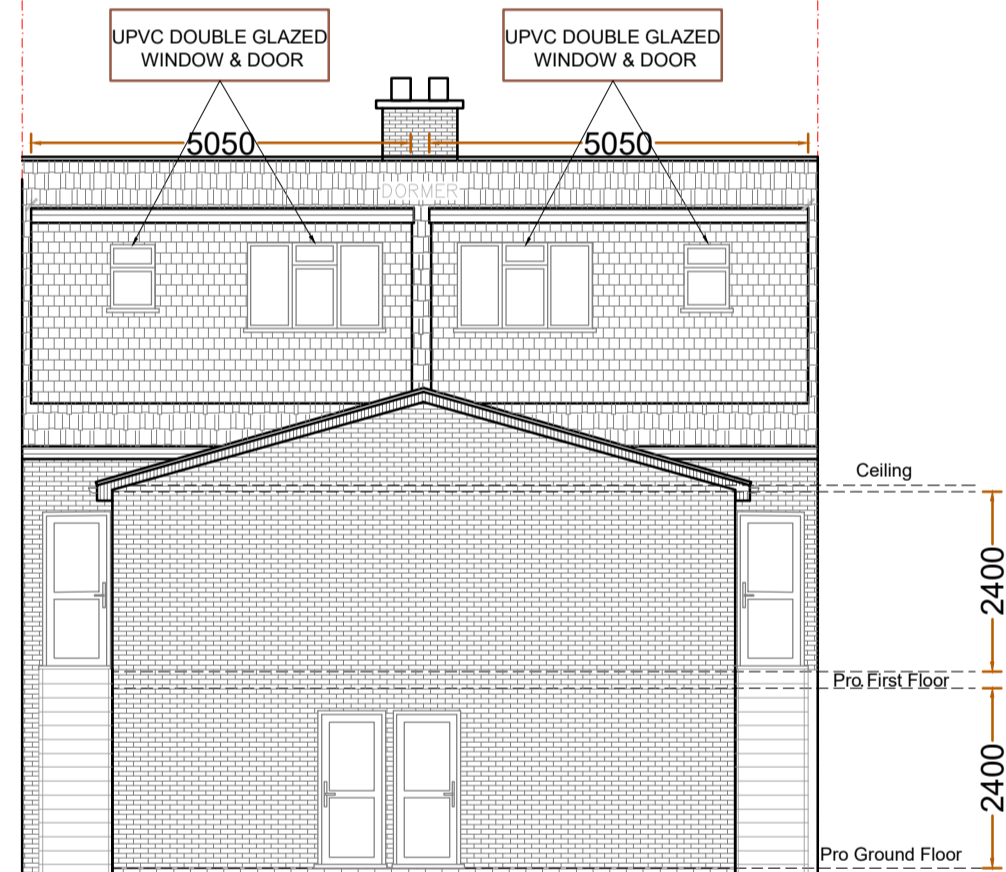
FRONT ELEVATION
(no change proposed)



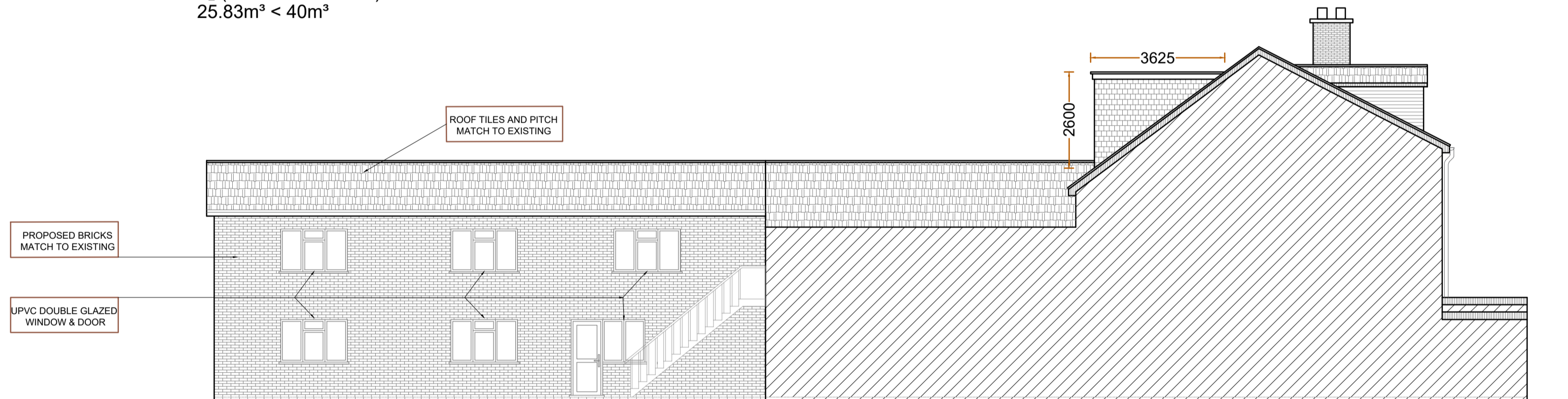
PROPOSED
SIDE ELEVATION-1

PERMITTED DEVELOPMENT RIGHTS FOR LOFT CONVERSION FOR TERRACED PROPERTIES = 40m³

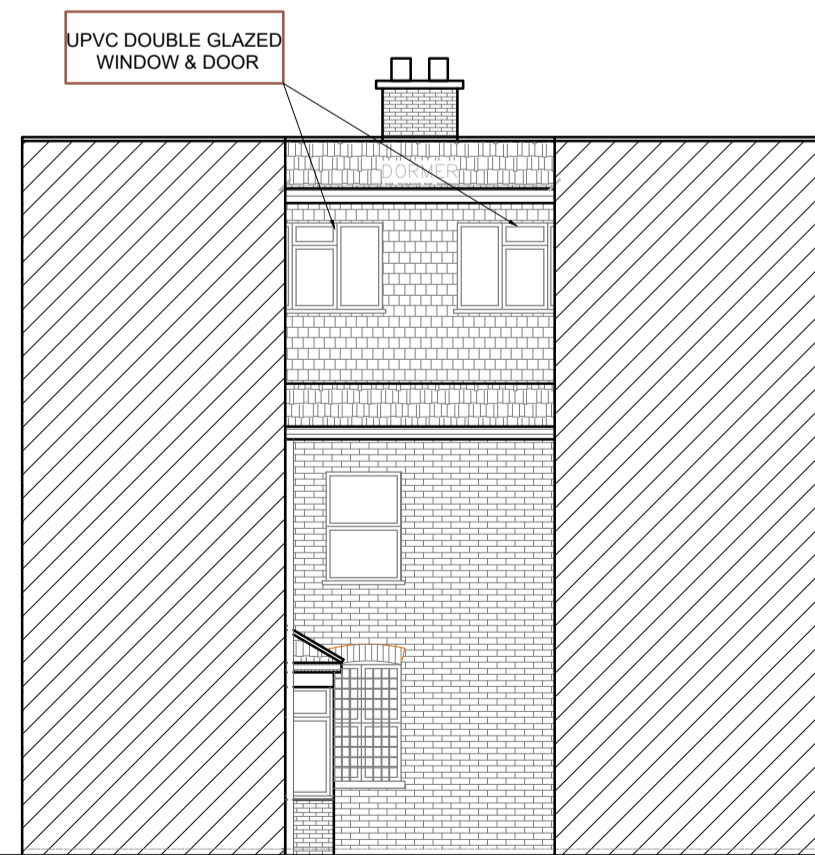
PROPOSED DORMER VOLUME = $\frac{1}{2}$ (LENGTH x DEPTH x HEIGHT)
 $\frac{1}{2}$ (L x D x H)
 $\frac{1}{2}$ (5.50 x 3.62 x 2.60)
 $25.83m^3 < 40m^3$



PROPOSED
REAR ELEVATION



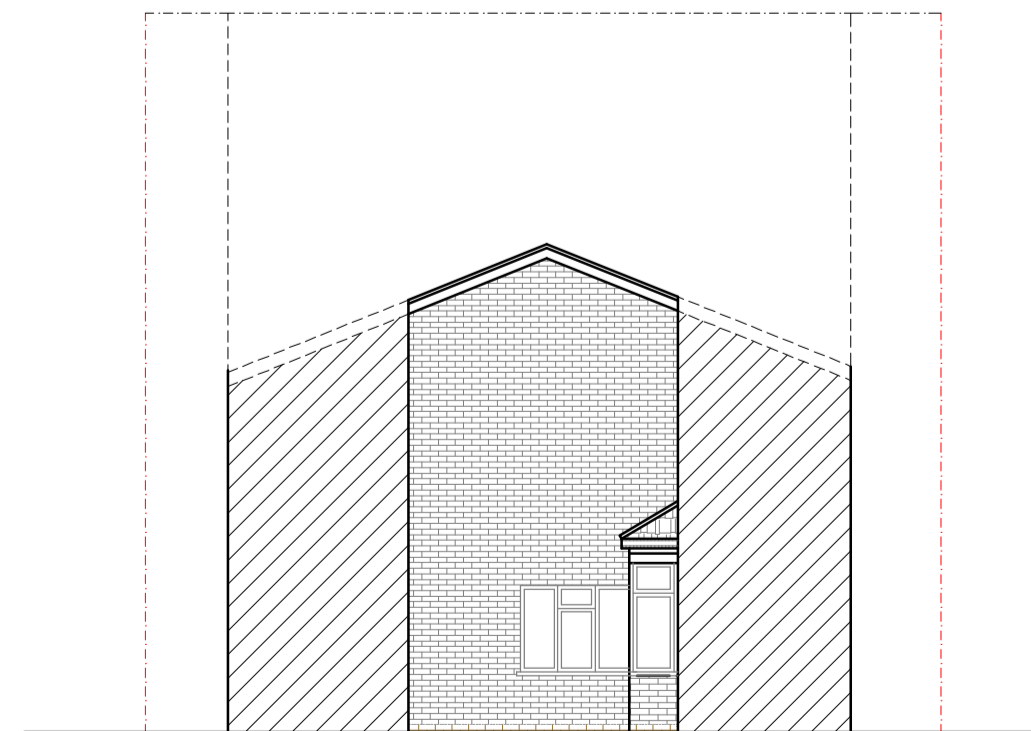
PROPOSED
SIDE ELEVATION-2



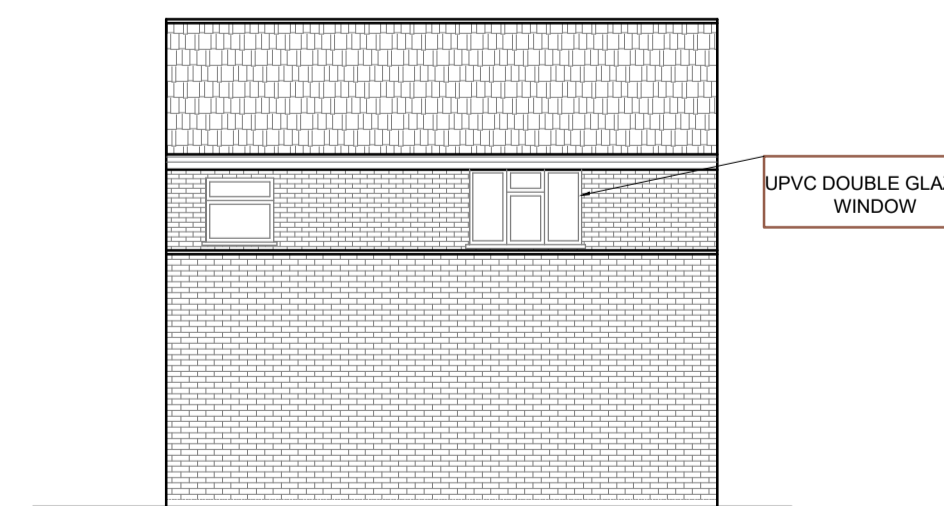
VIEW A ↓



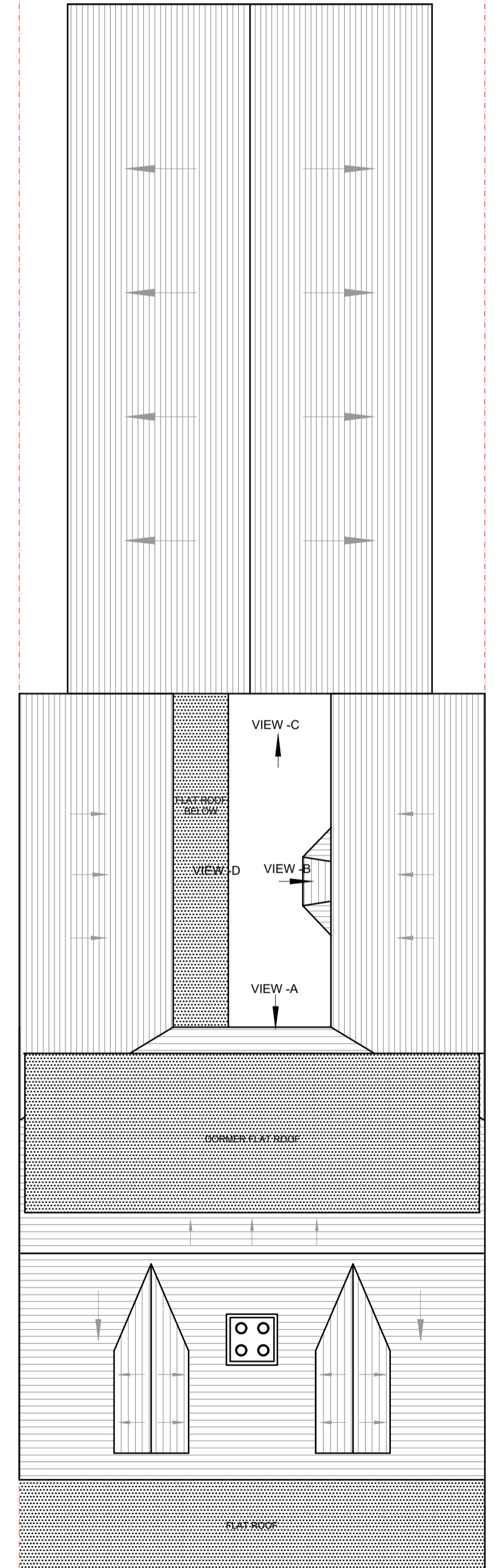
VIEW B →



VIEW C ↓



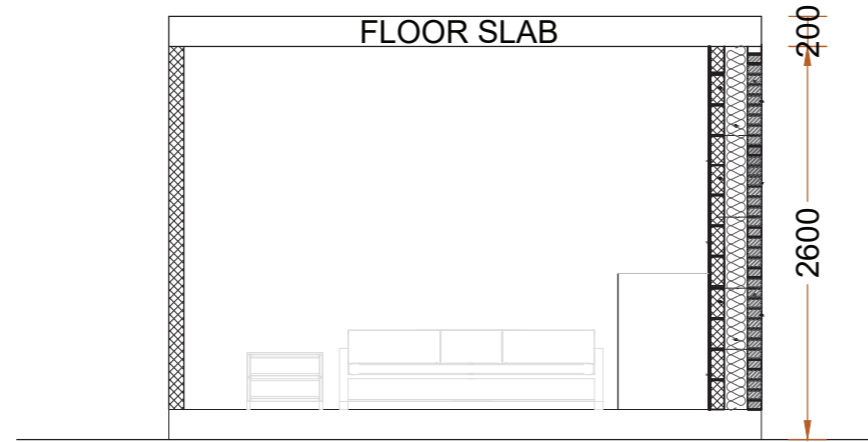
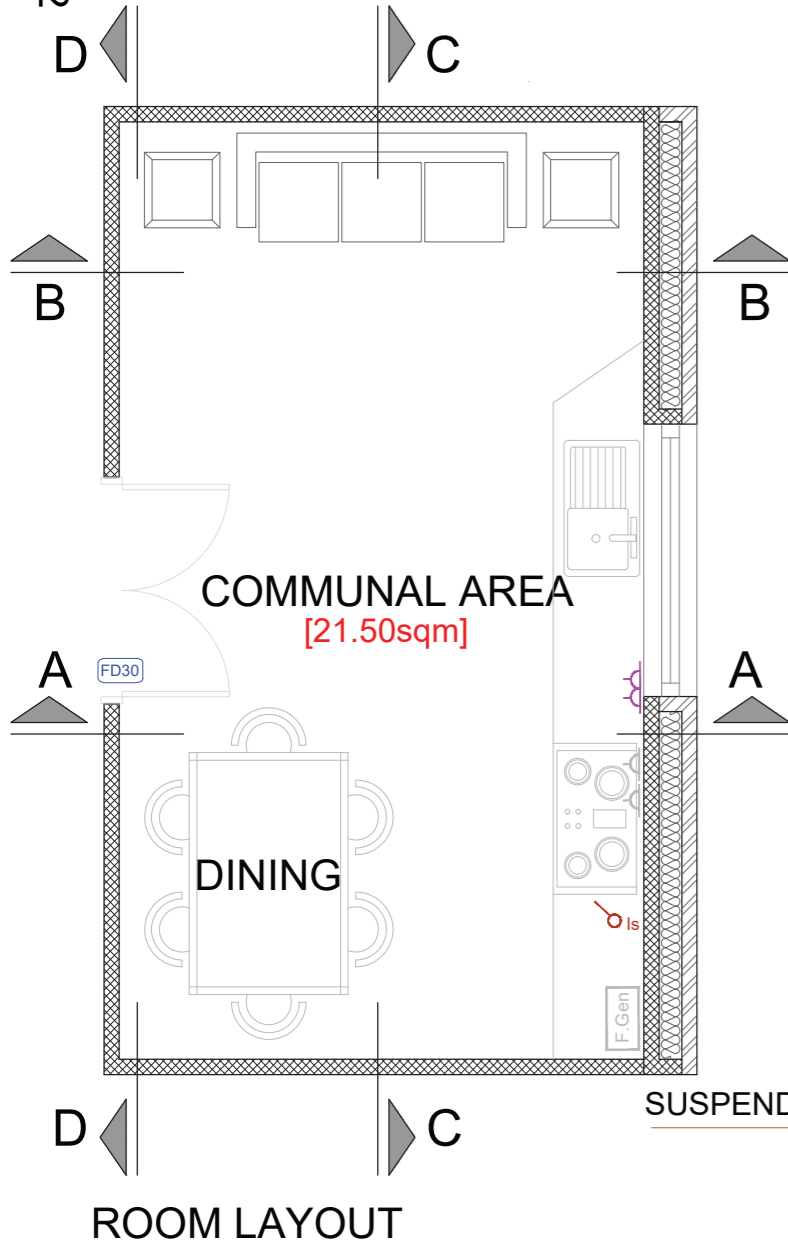
VIEW D ←



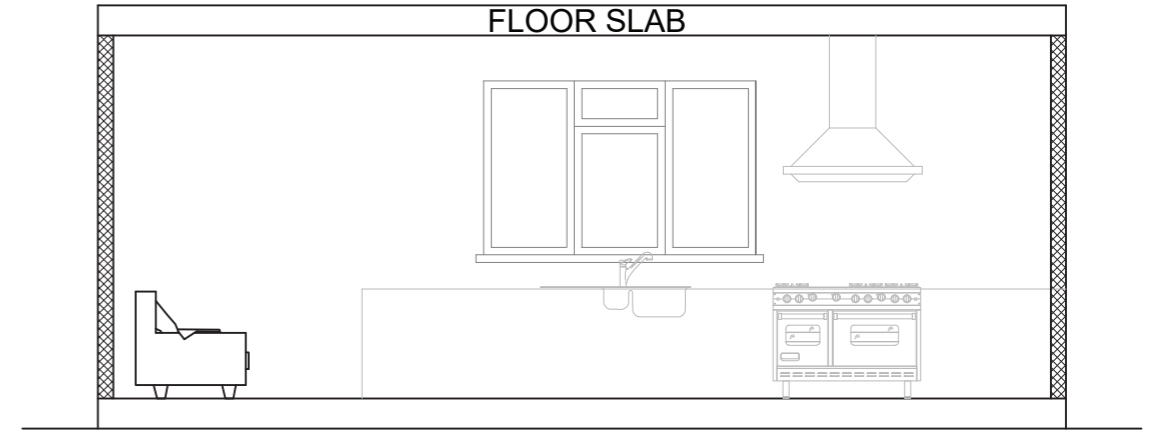
PROPOSED
ROOF PLAN



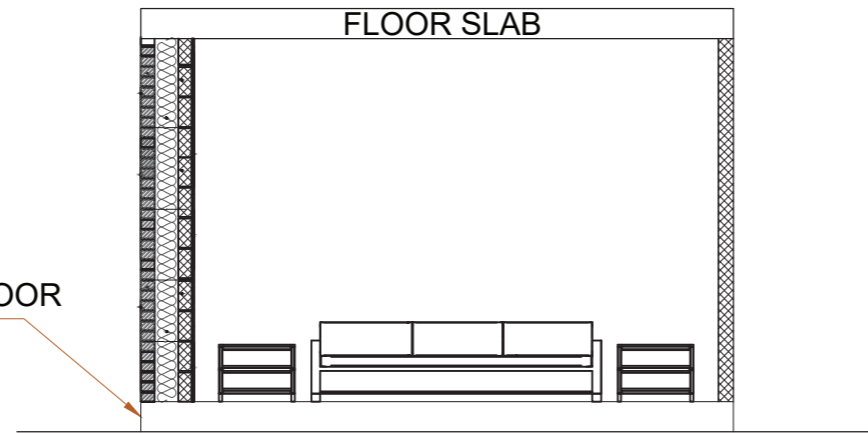
Page 52



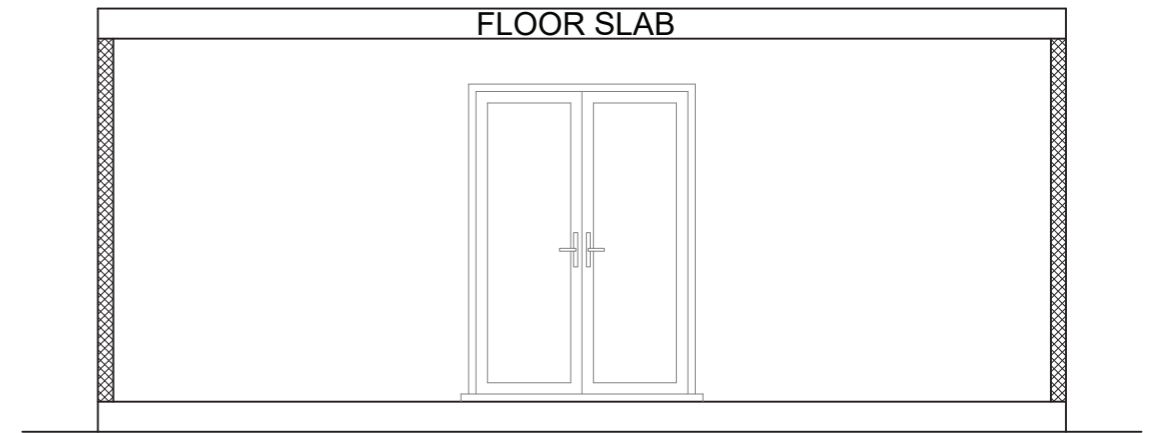
SECTION-AA



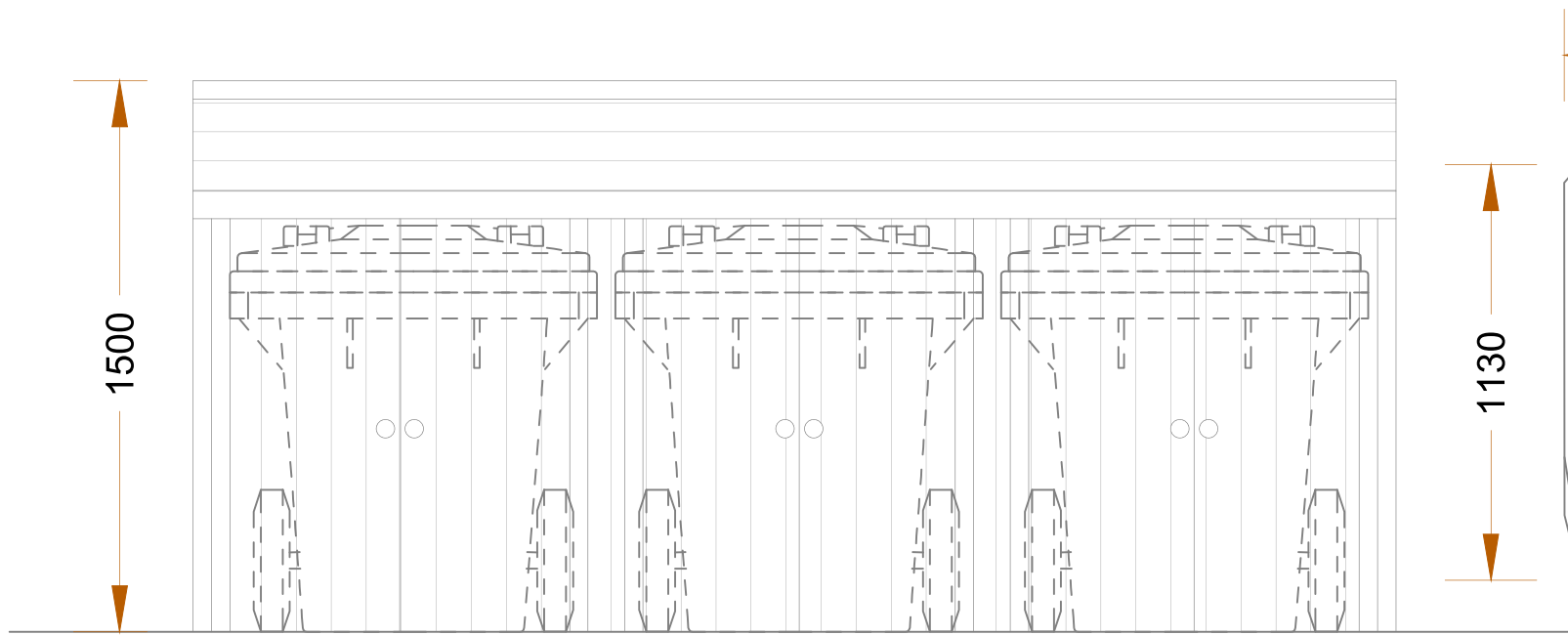
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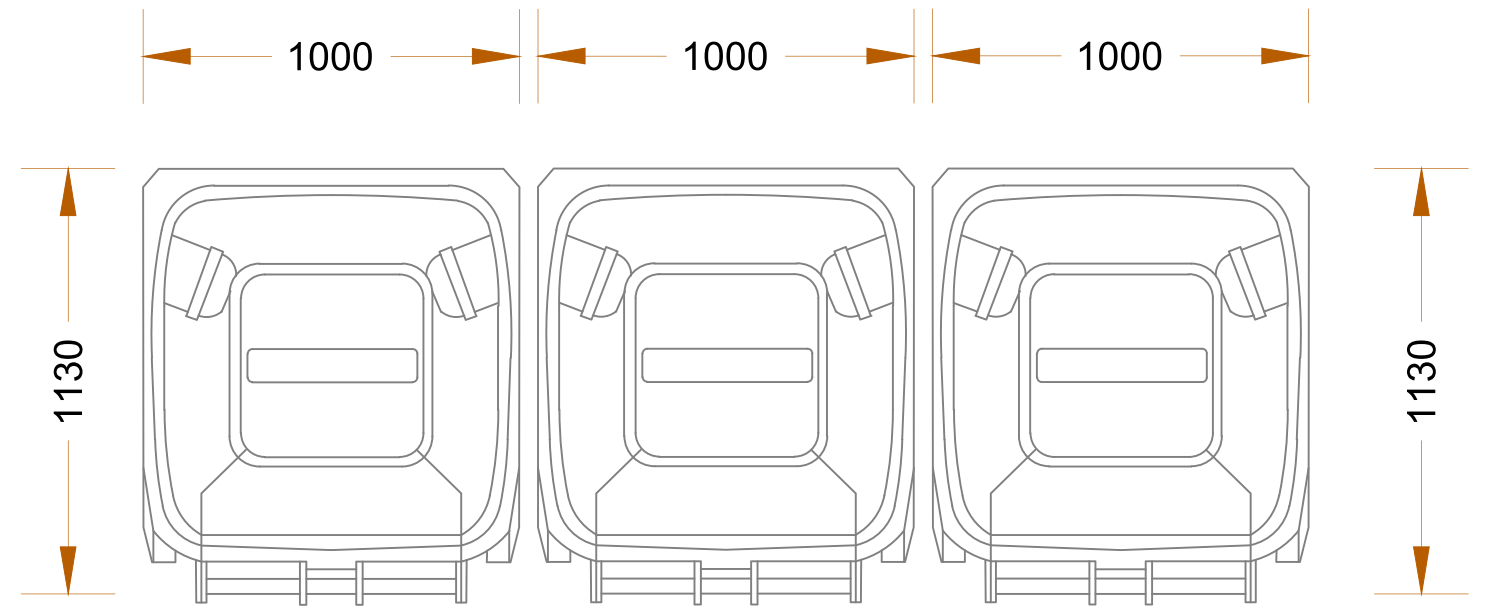
SECTION-BB



SECTION-DD



Front View

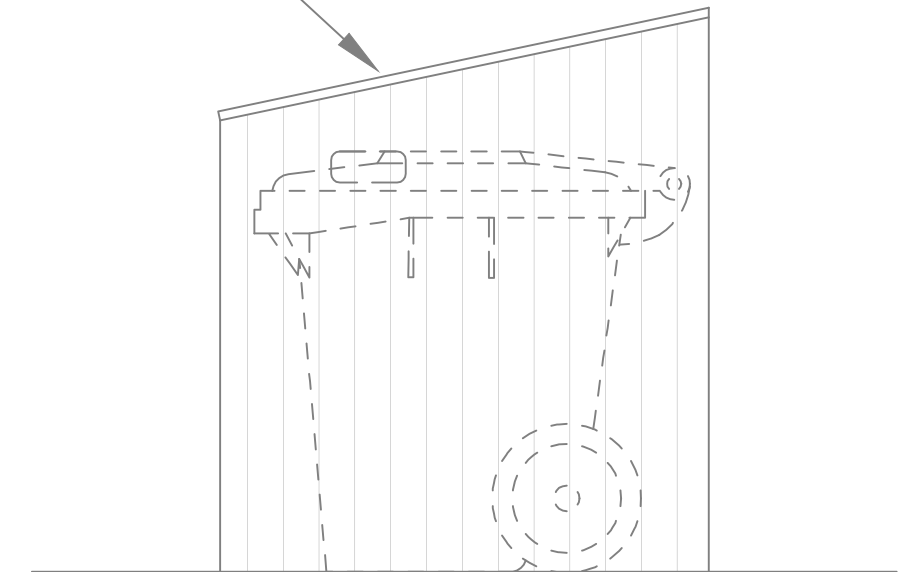


Top View

HMO BINS

3 x 1100L domestic waste containers inc. recycling

Timber Bin Store

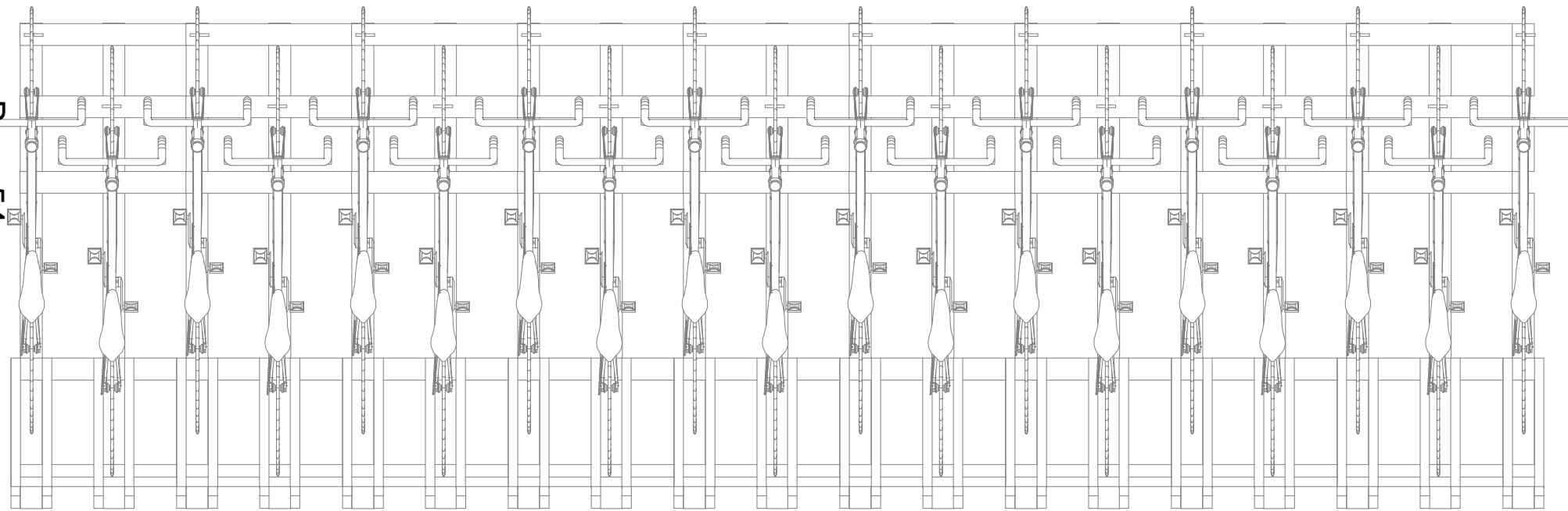


Side View



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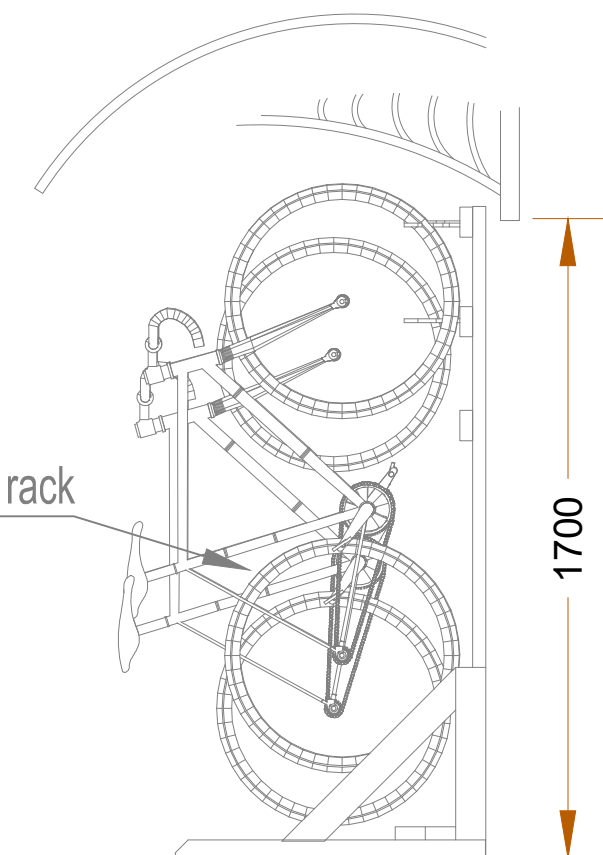
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Front View



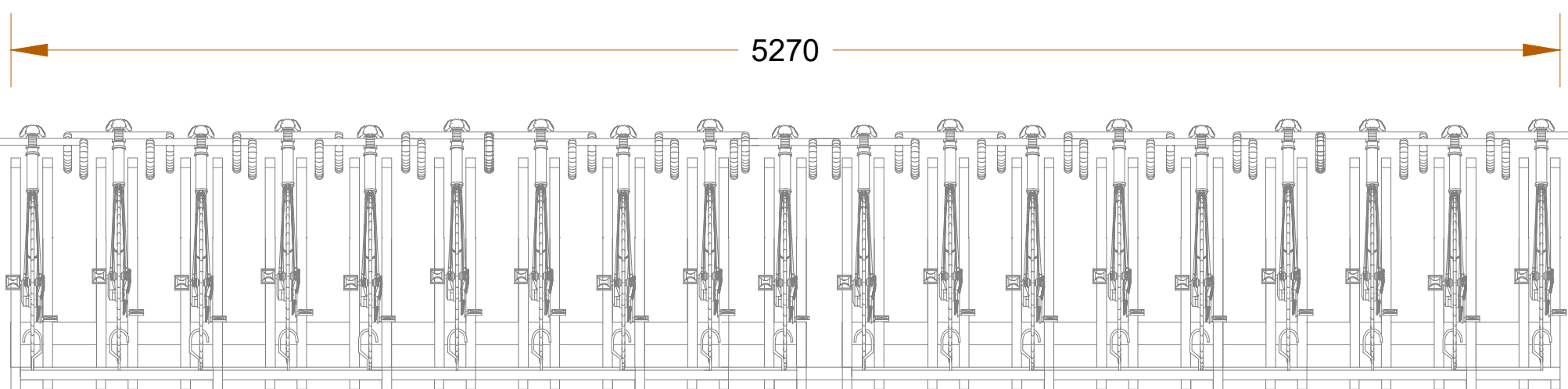
Cantilever canopy frame in with perspex roof



Vertical mounted bike rack



Side View



Top View



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P1 FOR PLANNING

Report to Planning Committee

6 September 2023

Application Reference	DC/23/68282
Application Received	16th May 2023.
Application Description	Proposed single and two storey side and rear extension.
Application Address	15 Cedar Road Wednesbury WS10 0BD.
Applicant	Mrs Dilara Khatun
Ward	Wednesbury South
Contact Officer	Anjan Dey Anjan_dey@sandwell.gov.uk

1 Recommendations


- 1.1 That planning permission is granted subject to conditions relating to:
- (i) External materials to match the existing property.
 - (ii) Existing dropped kerbs shall be extended.

2 Reasons for Recommendations

- 2.1 The proposed development would be of satisfactory design and would not significantly impact the amenity of neighbouring properties.



3 How does this deliver objectives of the Corporate Plan?

	Quality homes in thriving neighbourhoods
---	--

4 Context

- 4.1 At the last meeting your Committee resolved to visit the site.
- 4.2 The application is being reported to your planning committee because the Agent is an employee of Sandwell MBC.
- 4.3 To assist members with site context, a link to Google Maps is provided below:

[15 Cedar Rd, Wednesbury.](#)

5 Key Considerations

- 5.1 The material planning considerations which are relevant to this application are:-

Amenity concerns - loss of light and outlook.

Design concerns - appearance

6. The Application Site

- 6.1 The application site is on the northern side of Cedar Road, Wednesbury and relates to a 3-bedroom semi-detached property within a residential area.

7. Planning History

- 7.1 There is no planning history for this property.



8. Application Details

- 8.1 The applicant seeks to construct two storey side and rear extensions as well as a single storey rear extension. Existing bedrooms are to be extended and the number of bedrooms increased to five. At ground floor level it is proposed to extend the lounge and create a new kitchen/diner along with a study room.
- 8.2 The single storey rear extension would measure: 3 metres long, 2.6 metres wide and 3.3 metres to the maximum height of the mono-pitched roof.
- 8.3 The two-storey rear would measure: a maximum of 3m long, 8.7 metres wide by 7.2 metres high to the maximum height of the dual pitched roof. The depth of the extension to the adjoining semi would measure 1.5 metres to a maximum height of 6.6 metres to the height of the dual pitched roof.
- 8.4 The two-storey side extension would measure: a maximum of 6.9m deep by 2m wide by 7.2m high to the height of the dual pitched roof.

9. Publicity

- 9.1 The application has been publicised by neighbour notification letters with two objections received from neighbouring houses. In addition, neighbours have been re-consulted regarding amended plans and at the time of writing no additional comments had been submitted.

9.2 Objections

Objections have been received on the following grounds:

- i) Possible loss of light to both of their properties;



- ii) Concerns relating to the extension possibly affecting drainage/sewage pipes;
- iii) There is insufficient parking for the proposed increase in bedrooms;
- iv) Possible overhang/encroachment onto their land;
- v) Concerns relating to ownership of the property.

Non-material objections relating to Party Wall matters and devaluation of property have also been received.

These objections will be addressed in section 13 (Material considerations).

10. Consultee responses

10.1 Highways

No objections as the front driveway can accommodate 3 vehicle spaces required for a 5-bedroom property, and there is adequate space for manoeuvrability. Highways has requested that the existing dropped kerb shall be extended to provide satisfactory access to the front driveway, and this can be dealt with by appropriate condition.

11. National Planning Policy

11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

11.2 The same guidance refers to development adding to the overall quality of the area by achieving high quality design, achieving good architecture and layouts.

12. Local Planning Policy

12.1 The following policies of the council's Development Plan are relevant:



12.3 ENV3 and SAD EOS9 refers to well-designed schemes that provide quality living environments. The proposed layout and design are considered to be acceptable.

13. Material Considerations & other relevant considerations

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

13.2 Amenity concerns - Loss of light and outlook.

With regards to the adjoining semi to the east, it is considered the submitted floor plans show that the first-floor rear extension complies with the 45-degree code that is used for guidance in such matters. Dimensions for the single storey element below would normally be acceptable under Class A of the 'General Permitted Development Order'. Notwithstanding this, it is my view that both the single and two storey extensions would not result in any significant loss of light to the adjoining property.

Although the side/rear extension would close the gap between the other neighbour to the west, it is considered that there is a staggered building line and this property is set back from the applicant's property. The submitted floor plans show that the two-storey rear extension would be flush with their rear elevation. In view of this there would not be any appreciable loss of light to primary windows at the rear of that property.

The objector refers to a landing, bathroom window and door located in the nearest western side elevation. However, it is considered that any impact on these windows does not warrant refusal as they are classed as 'secondary' windows i.e. they do not serve habitable rooms. It also appears that there are other light sources - ground floor windows at the rear that would not be affected by the proposals.



It is also my view that the two-storey side extension would not result in any significant loss of light or outlook to the nearest first floor primary window at the front elevation of adjacent nearest property.

13.3 Highway concerns

Highways has been consulted and has confirmed that the front driveway can accommodate the 3 spaces that required for a 5-bedroom dwelling. Highways has considered further information submitted relating to manoeuvrability of cars parked on the driveway and have raised no objections.

In addition to highway comments the agent has now updated floor plans to include a parking layout showing that the front driveway can accommodate 3 cars. Highways and Housing has also confirmed that they have not received any parking related complaints for the property.

13.4 Design concerns

The proposals at the rear of the property would be hidden from the street frontage, with the side extension element not considered to result in any undue harm to the character of the area. The side extension has been setback at the front elevation and step-down from the apex of the roof as per adopted design guidance (Residential Design SPD). The rear extension is deemed acceptable, considering the factors mentioned above, and that the extensions would not overly dominate or impose on the neighbouring properties. Furthermore, the proposal ensures that an ample amount of rear garden space will remain for the property.

13.5 Other relevant considerations

Concerns relating to drainage/sewage pipes does not warrant refusal and it is envisaged that construction works would be subject to a separate Building Regulations approval.



The matter regarding possible overhang onto the neighbour's curtilage has been discussed with the agent and amended plans have been submitted to show a 'parapet' style gutter to ensure that gutters do not overhang onto neighbouring property. The agent has also confirmed that the extensions are to be constructed solely on land within the curtilage of 15 Cedar Road.

The Council's Home Ownership Officer has confirmed that a live right-to-buy offer had been made to the applicant on 23rd May 2023 and that they are currently waiting for the applicant to accept. However, the agent has also sent separate confirmation that his client has now accepted Housing's offer to purchase the property.

The Home Ownership Officer has also stated that the applicant did not inform them that a planning application has been submitted, and the agent has now confirmed that the correct notice (Certificate B) has been served on the Council. This is procedural matter and should have no bearing of the planning decision, nevertheless I am satisfied that the correct certificate has been served and that the Housing Service are aware of this proposal.

14. Conclusion

On balance the proposal accords with the provisions of relevant development plan policies and there are no significant material considerations which warrant refusal that could not be controlled by conditions.

15 Alternative Options

15.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant policies and there are no material considerations that would justify refusal.



16 Implications

Resources:	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
Legal and Governance:	This application is submitted under the Town and Country Planning Act 1990.
Risk:	None.
Equality:	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
Health and Wellbeing:	None.
Social Value	None.
Climate Change	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

17. Appendices

Location Plan 2023-01 01.

Existing layout and floor plans 2023- 02 01

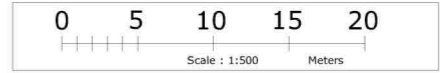
Proposed layout and floor plans and parking layout 2023-02 03 REV 03



Location Plan - Existing
Scale 1:1250



Site Plan - Proposed
Scale 1:500

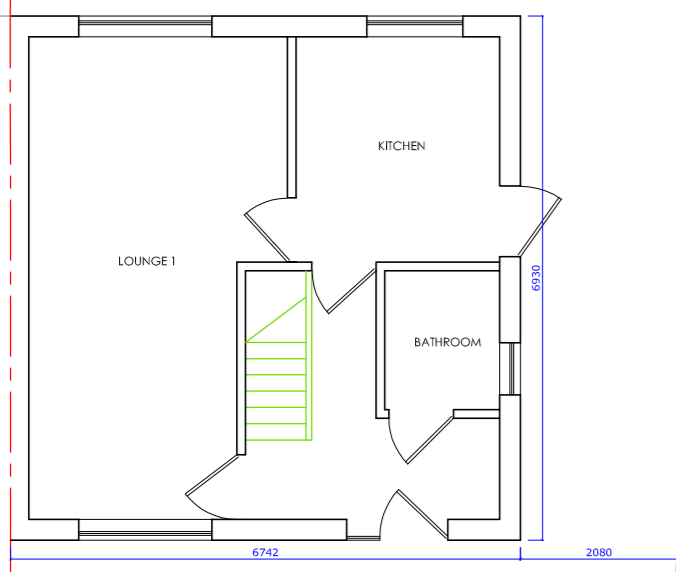


CLIENT:

JOB:
15 Cedar Road, Wednesbury,
WS10 0BD

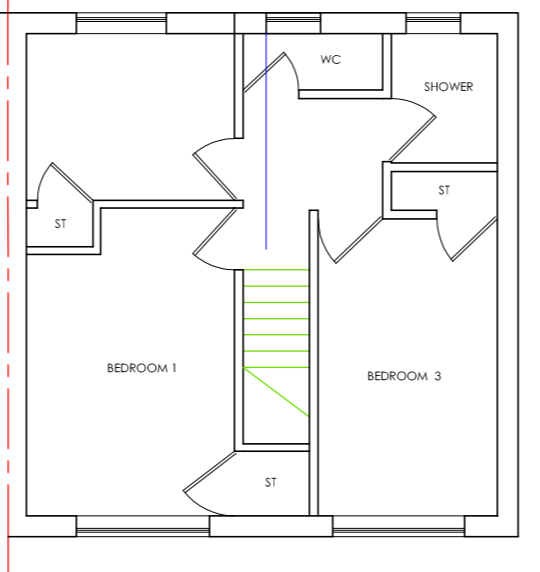
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Location Plan Existing
Site Plan - Proposed

DRG NO.	REV.	Paper
2023-01/	01	A3
DATE: Apr' 23	SCALE: Varies	



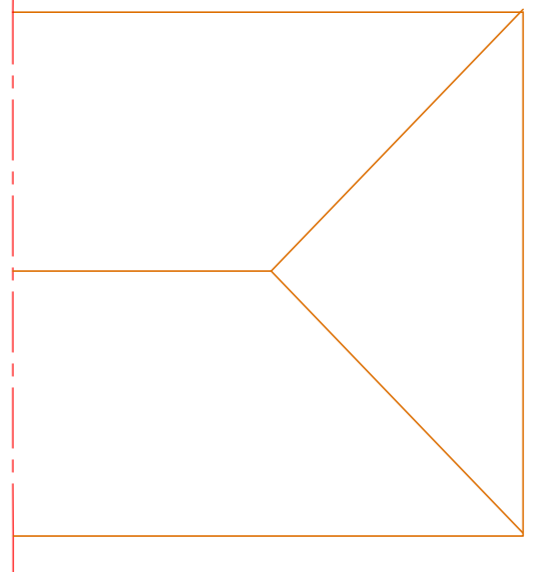
GROUND FLOOR

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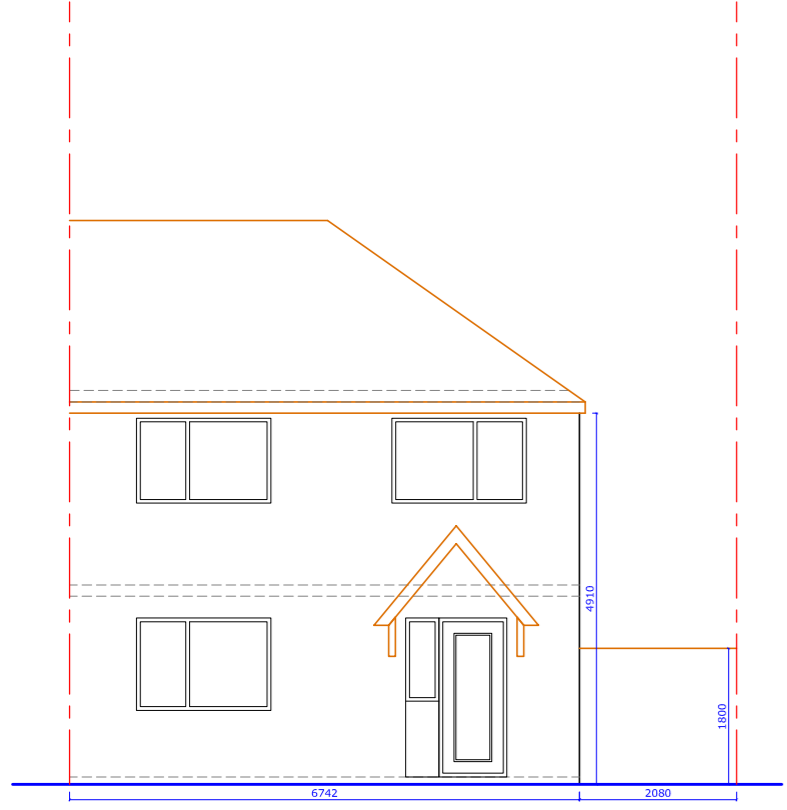
FIRST FLOOR

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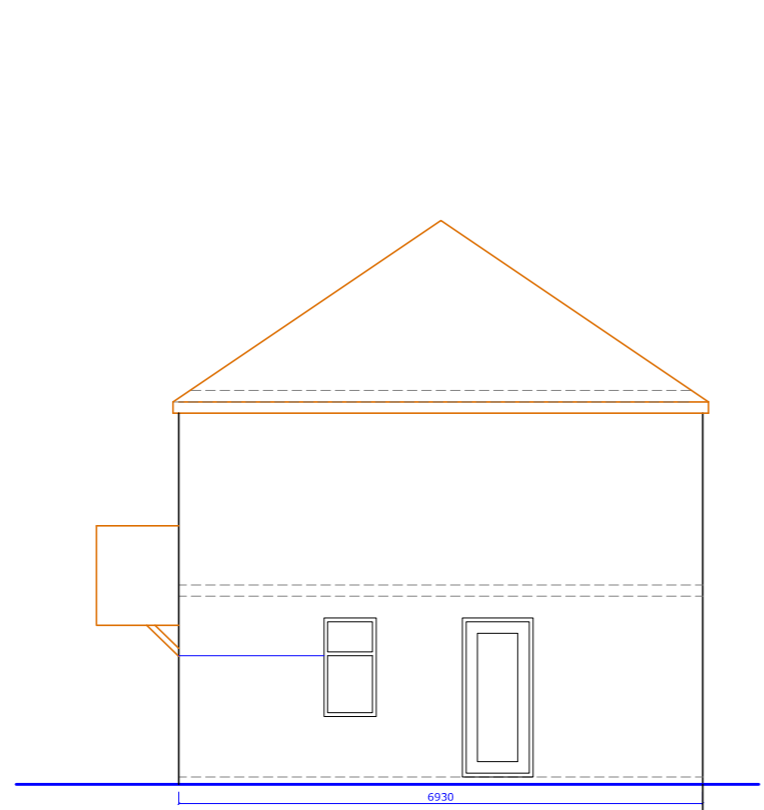


ROOF PLAN

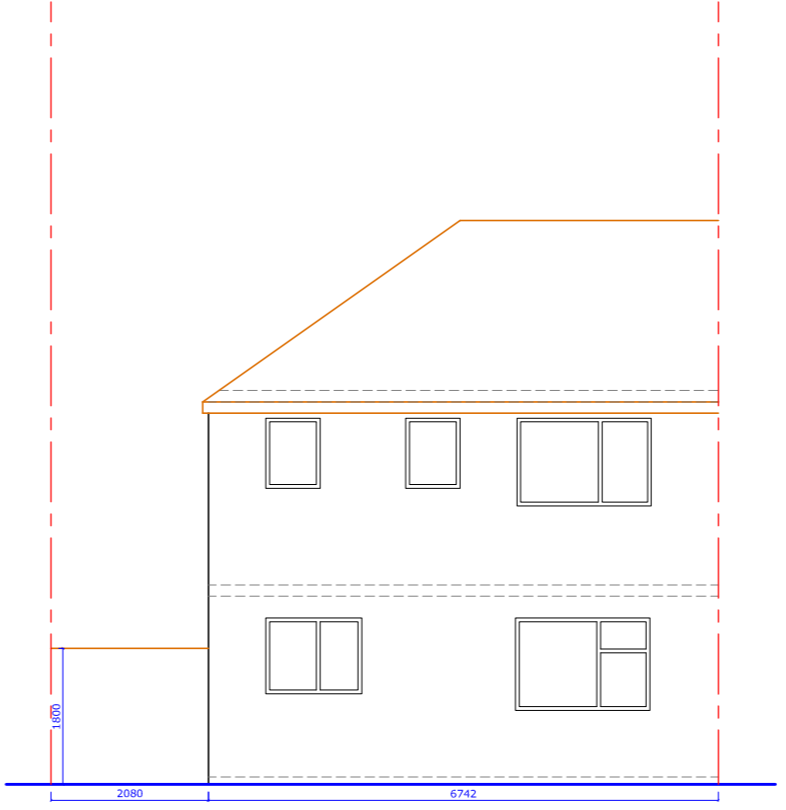
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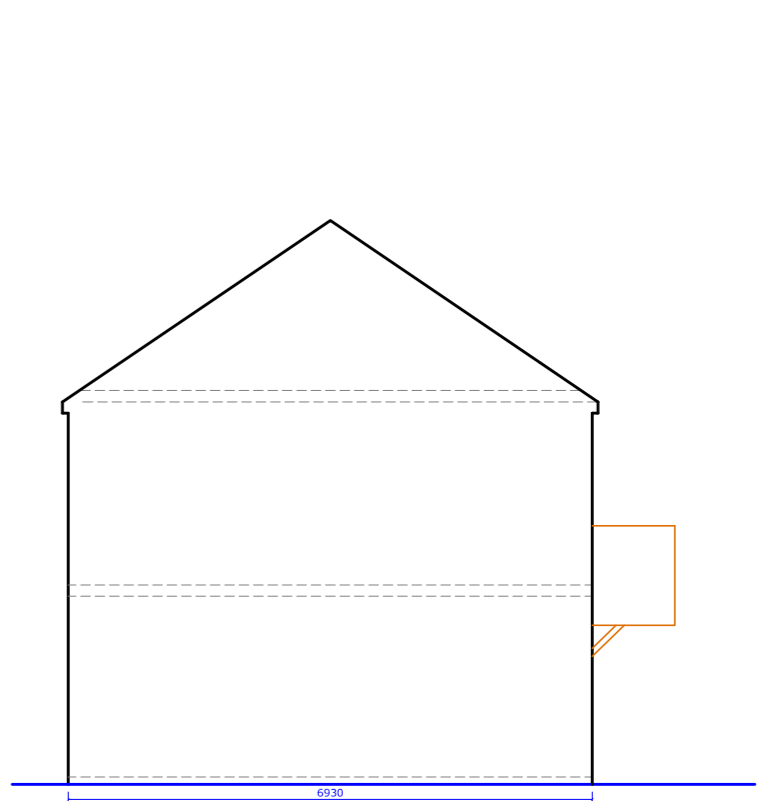
FRONT ELEVATION



SIDE ELEVATION

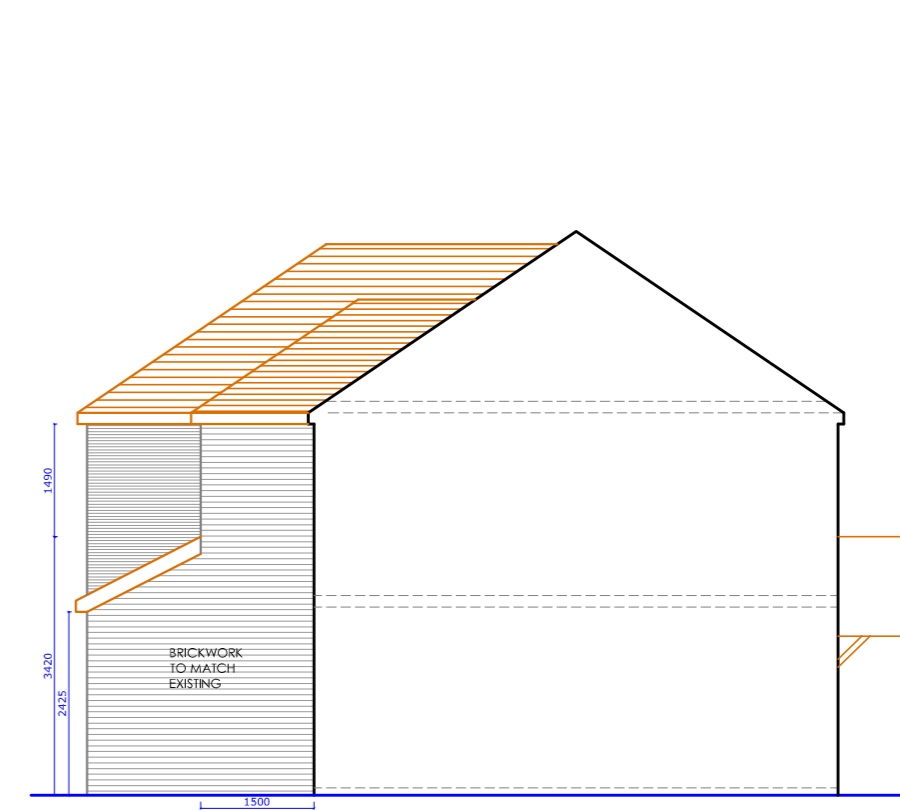
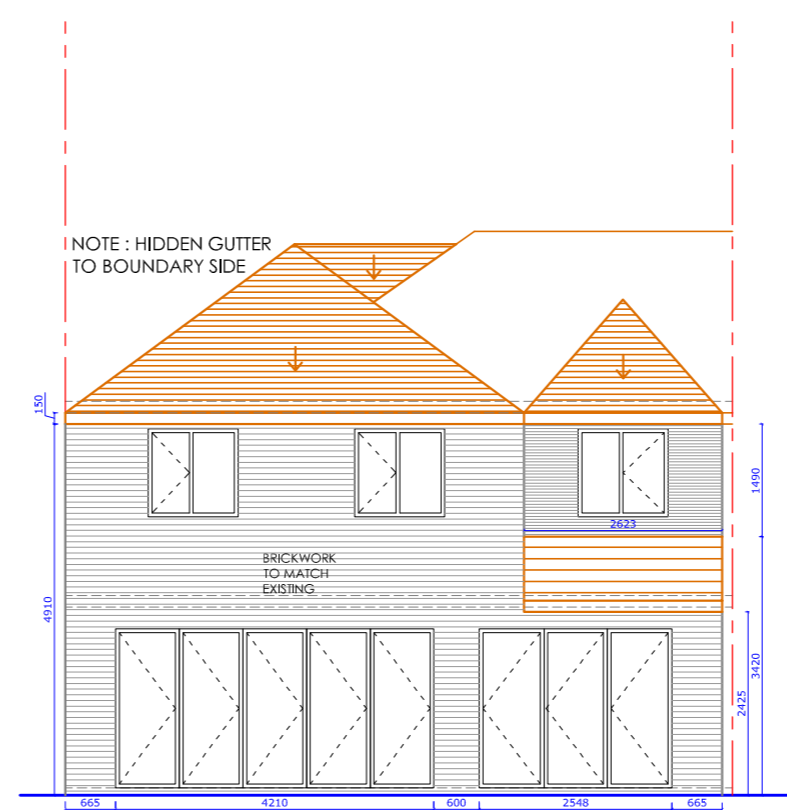
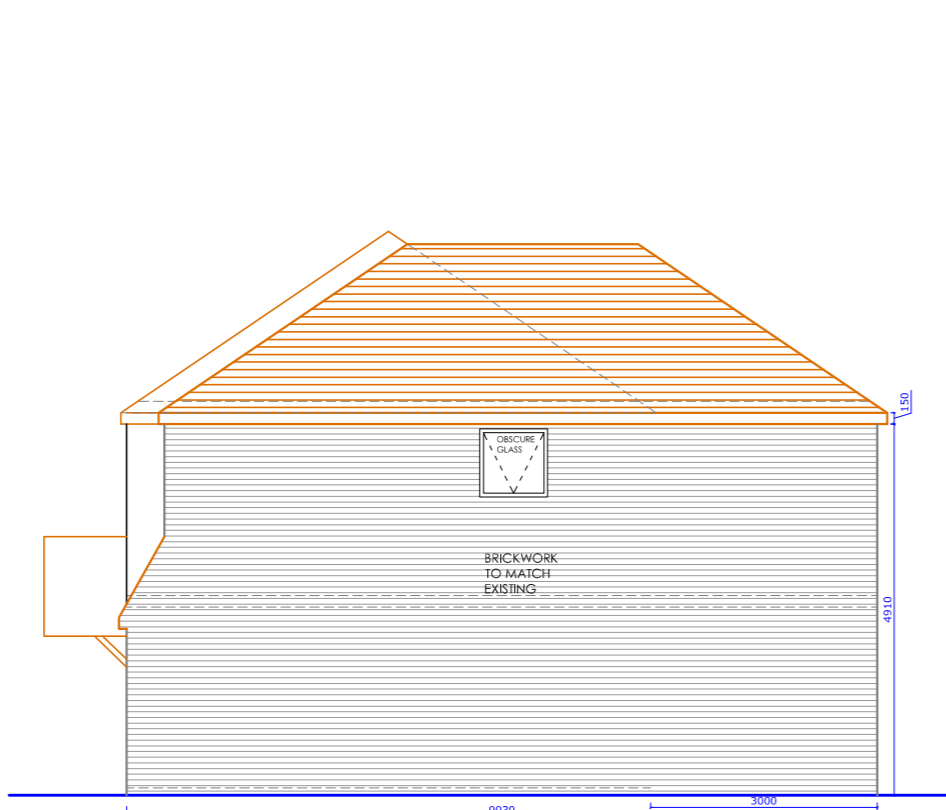
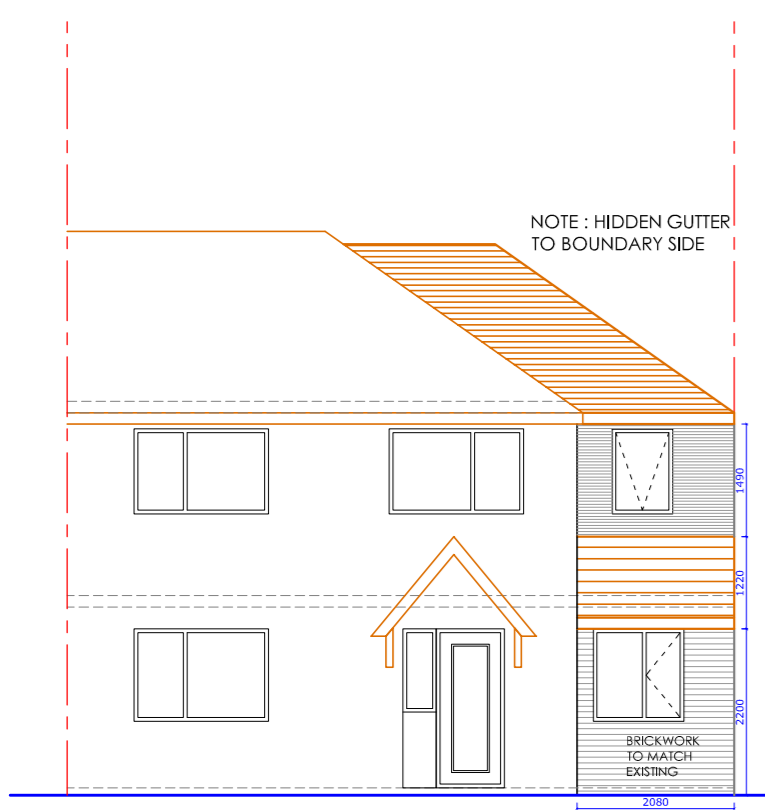
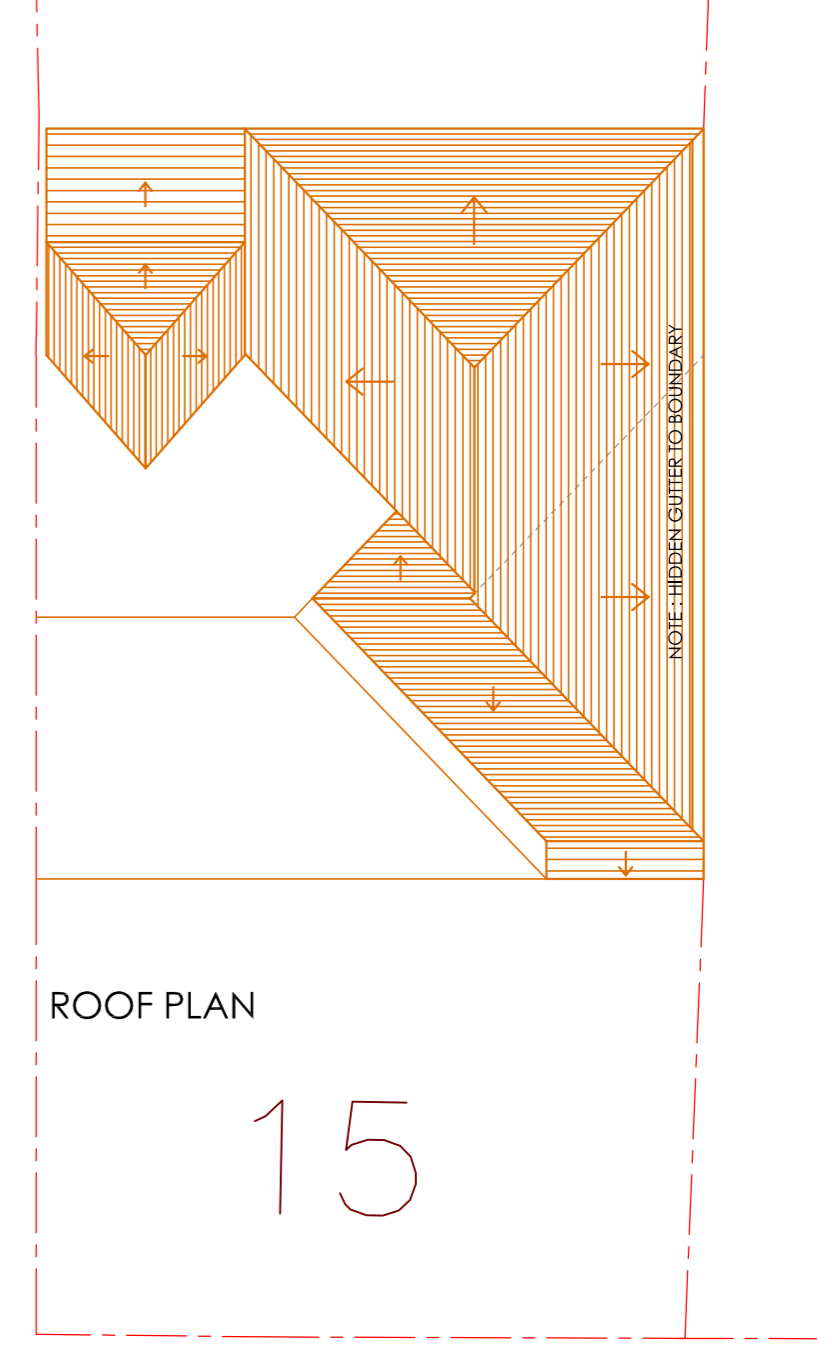
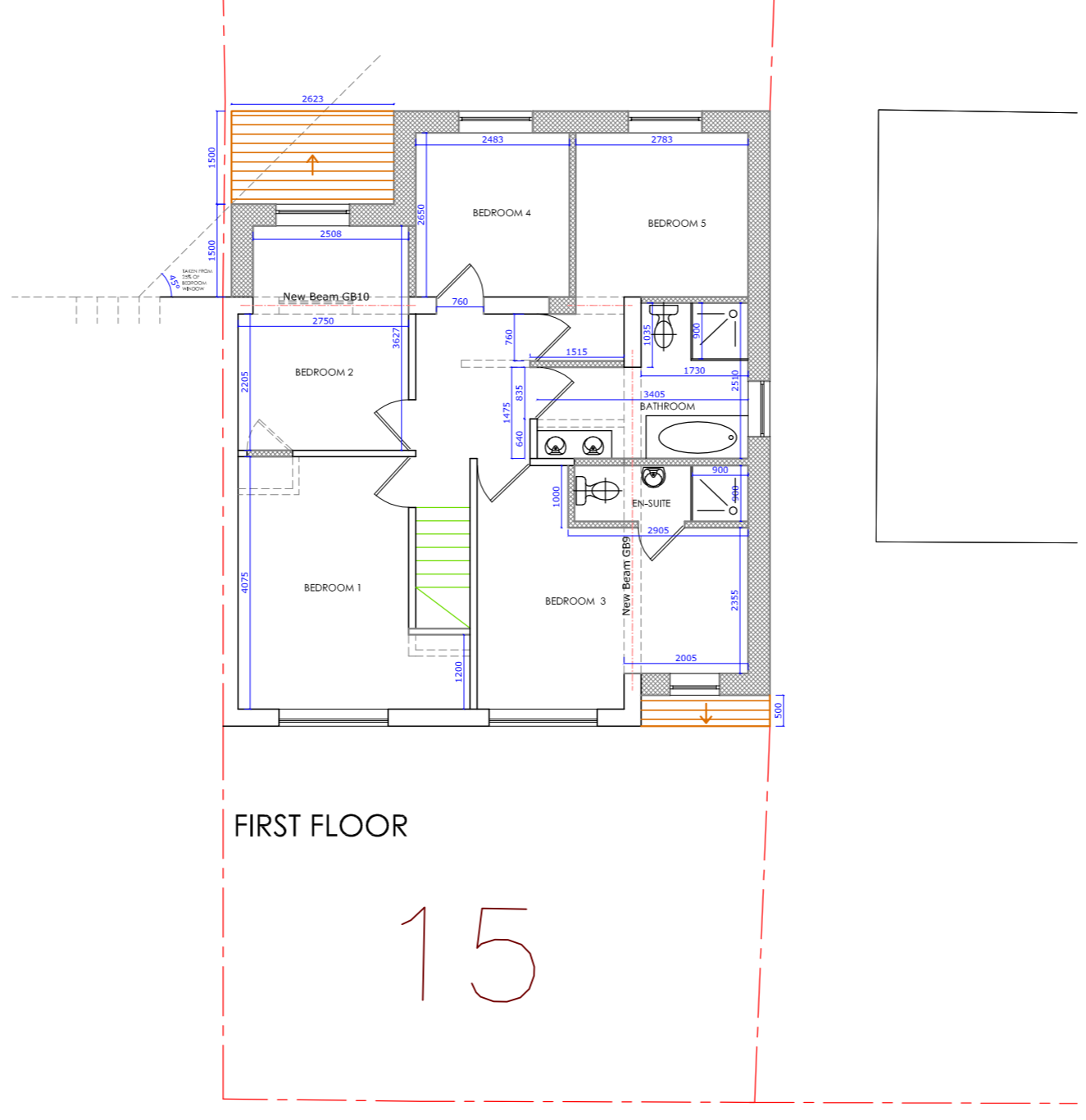
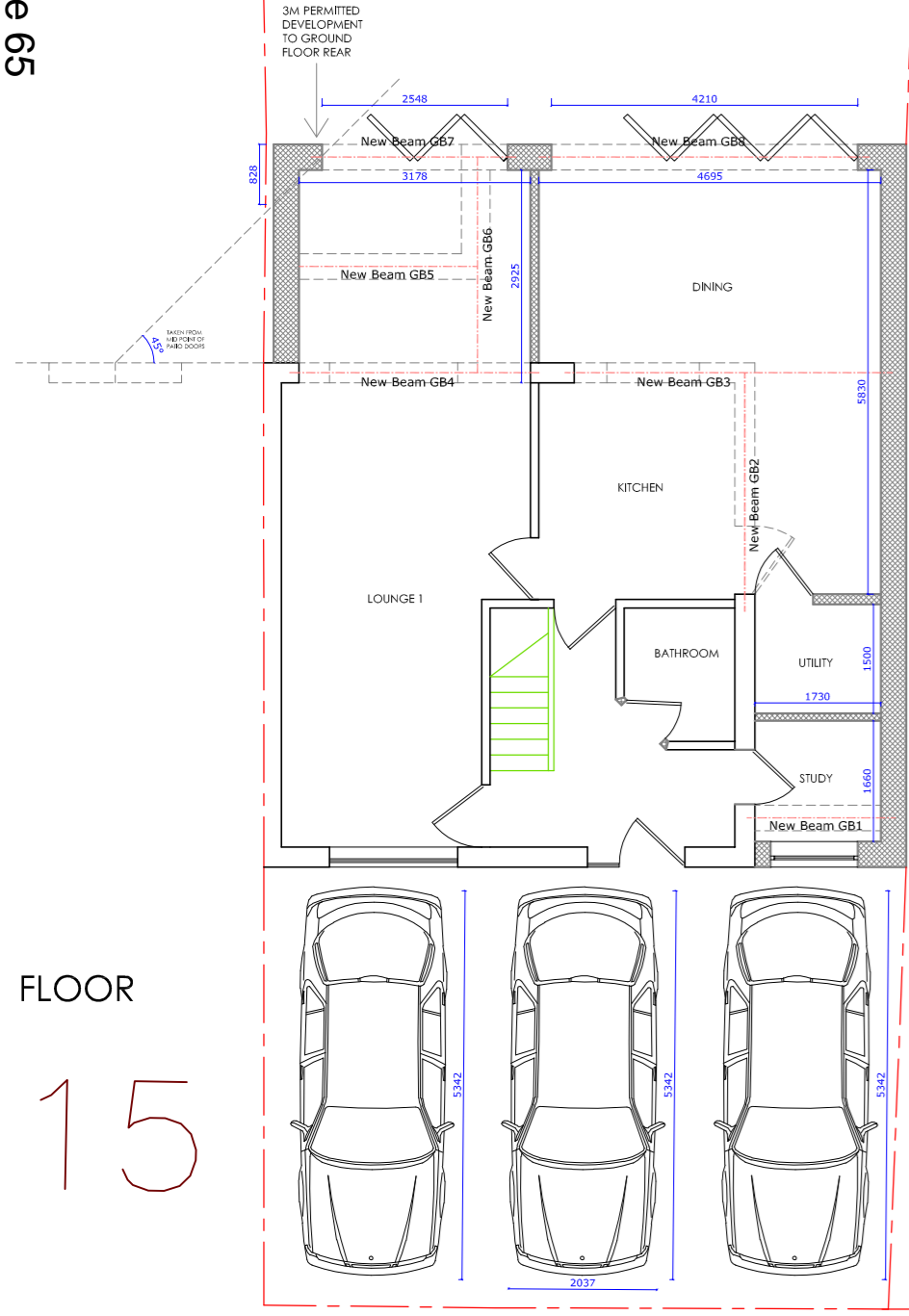


REAR ELEVATION



SIDE ELEVATION

CLIENT: Mrs Dilara Khatun		
JOB: 15 Cedar Road, Wednesbury, WS10 0BD		
DRG TITLE: Existing Plans and Elevations		
DRG NO. 2023-02/	REV. 01	Paper A2
DATE: Apr' 23	SCALE: 1:100	



REVISIONS
 Rev1 :
 Shown hidden gutter in roof - note no overhang onto adjoining neighbours boundary
 Rev3:
 Car parking layout - 3 above average uk sized cars

CLIENT: Mrs Dilara Khatun		
JOB: 15 Cedar Road, Wednesbury, WS10 0BD		
DRG TITLE: Proposed Plans and Elevations		
DRG NO. 2023-03/	REV. 03	Paper A2
DATE: Jul 23		SCALE: 1:100

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Report to Planning Committee

6 September 2023

Application Reference	DC/23/68347
Application Received	05 June 2023
Application Description	Proposed single storey rear extension to create 1 No. self-contained flat.
Application Address	574 Hagley Road West Oldbury B68 0BS
Applicant	Mr Jasbinder Kaur
Ward	Old Warley
Contact Officer	Mr Andrew Dean andrew_dean@sandwell.gov.uk

1 Recommendations

1.1 That planning permission is granted subject to conditions relating to:

- i) External Materials;
- ii) Car parking implementation and retention;
- iii) Noise assessment and mitigation measures;
- iv) Drainage;
- v) Low NOx Boiler;
- vi) Refuse Storage;
- vii) Cycle Storage;
- viii) Construction method statement;
- ix) Obscure glazing to side elevation (East facing);




- x) Highway signage to entrance/ exit; and
- xi) External lighting scheme.

2 Reasons for Recommendations

2.1 The proposed extension would create 1, one bed apartment which is appropriate in scale and design and raises no significant concerns from an amenity or highway safety perspective. The development would contribute to the range and type of accommodation available within the borough.

3 How does this deliver objectives of the Corporate Plan?

	Quality homes in thriving neighbourhoods
---	--

4 Context

4.1 The application is being reported to your committee because nine material planning objections have been received. Councillor Harnoor Bhullar has also objected to the application on behalf of residents.

4.2 To assist members with site context, a link to Google Maps is provided below:

[574 Hagley Road West, Oldbury](#)

5 Key Considerations

5.1 The site is not allocated within the Development Plan.

5.2 The material planning considerations which are relevant to this application are:-

Government policy (NPPF)



Amenity concerns – Overlooking/loss of privacy, loss of light and/or outlook.

Design concerns - appearance and materials, layout and density of building, wider visual amenity and overdevelopment.

Environmental concerns – noise/ disturbance, cooking smells and bin storage.

Highways considerations - Traffic generation, access, highway safety, parking and servicing

6. The Application Site

6.1 The application relates to the rear of a commercial premise located on the northern side of Hagley Road West, Oldbury. The character of the surrounding area is predominantly residential in nature with the application property forming part of a small row of commercial units.

6.2 The existing property consists of a commercial unit to the front on the ground floor with an existing residential unit above accessed via an external staircase to the rear. Access to the rear for vehicles is via a gated underpass entrance. The rear of the site is block paved with a small garage type building located at the far north.

7. Planning History

7.1 The site has been subject to one recent planning application for a more intensive residential scheme. This application was withdrawn by the applicant due to highways and design concerns relating to the three-storey building proposed at the rear.

7.2 Relevant planning applications are as follows:

DC/22/67502	Proposed single storey rear extension to existing 1 No. self-contained flat with external rear staircase and balustrades	Withdrawn.
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	to existing first floor flat, detached three storey building in rear garden to create a further 3 No. self-contained flats, new front access gates and associated parking.	
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8. Application Details

- 8.1 The applicant is proposing to remove an existing single storey conservatory type structure and to erect a single storey rear extension measuring a maximum of 12 metres (L) by 5.1 metres (W) with an overall height of 2.75 metres (flat roof). The extension would provide a one-bedroom residential property. The layout of the property would consist of a shower room, bedroom. Living room, kitchen and store room.
- 8.2 An amended plan has been received to remove the originally proposed external staircase and walk way across the roof. Access to the existing first floor flat would now be via an internal staircase accessed from the side elevation. Amendments have also been made to the internal layout of the proposed flat as well as side facing windows being shown as obscurely glazed and a roof light being added to the living room to provide additional light. The internal floor area of the proposed unit would measure 37m².

9. Publicity

- 9.1 The application has been publicised by neighbour notification letter with nine objections being received. Councillor Harnoor Bhullar has also objected to the application on behalf of residents. Objectors were re-consulted on the amended plans with a further two objections being received reiterating the points listed below.



9.2 Objections

Objections have been received on the following grounds:

- i) The design of the extension is not in keeping with the surrounding area.
- ii) The proposed extension would cause a loss of light and privacy to adjacent dwellings including a communal garden area used by residents.
- iii) Concerns regarding possible flooding from the drainage system.
- iv) Highways matters, insufficient car parking.
- v) Noise concerns from additional comings and goings as it is not known how many people will live at the property.
- vi) Cooking smells.
- vii) Bin storage, bins are currently left out the front and not collected.
- viii) The proposal is out of character with the surrounding area. The adjacent building is Guardian House which is a facility for retired persons who have no wish to put up with the noise and anti-social behaviour.

Non-material objections have been raised regarding loss of property value, and traffic, noise, dust and pollution concerns during construction works.

These objections will be addressed in section 13 (Material considerations).

10. Consultee responses

10.1 Planning Policy

Although Planning Policy have not commented on this application, no objections were raised to the originally submitted application for a more intensive residential scheme (DC/22/67502) which was withdrawn. This application included an extension to the rear of the existing property to create one additional flat as well as a three-storey building to the rear.



10.2 Highways

Following receipt of a proposed car parking layout, Highways has raised no objections to the application. As the existing vehicular access is not wide enough to allow two vehicles to cross (4.5m width required), Highways suggest that signage within the site is implemented for vehicles leaving the site to give priority to vehicles leaving the highway. A condition for the above has been included within the recommendation.

10.3 Pollution Control (Air Quality)

No objection subject to a condition for Low NO_x Boilers

10.4 Pollution Control (Contaminated Land)

No objection.

10.5 Pollution Control (Air Pollution and Noise)

No objection subject to conditions for a noise assessment with mitigation measures to be undertaken and a construction management plan.

10.6 Private Sector Housing

General building regulations comments provided.

11. National Planning Policy

11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

12. Local Planning Policy

12.1 The following policies of the council's Development Plan are relevant:



CPS4: Place Making
HOU2: Housing Density type and Accessibility
TRAN4: Creating Coherent Networks for Cycling and Walking
ENV3: Design Quality
ENV8: Air Quality
SAD EOS9: Urban Design Principles

- 12.2 ENV3 and SAD EOS9 refers to well-designed schemes that provide quality living environments. The proposed layout and design are considered to be acceptable with the unit providing the minimum internal floor area for a one bed, one-person unit as required by the Nationally Described Space Standards.
- 12.3 HOU2 identifies the need for a range of types and sizes of accommodation within the borough and accessibility in terms of sustainable transport for residential services. The proposal would provide an additional residential unit in the borough and is within close proximity to a parade of shops and bus stops on Hagley Road West.
- 12.4 ENV8 refers to mitigation measures to offset air quality issues. In this instance, conditions for low NOx boilers to be provided has been recommended.
- 12.5 TRAN4 requires schemes to be well connected to aid cycling and walking. The proposal includes a condition for cycle parking to be provided as part of the development.

13. Material Considerations

- 13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:



13.2 Amenity concerns

The adjacent property (Guardian House) contains a number of windows on the side elevation which overlook the application property. These windows serve a kitchen and dining room area. The side facing windows serving ground floor flats are obscured by an approximately 2-metre-high closed boarded fence in close proximity to the window. Taking into consideration the above coupled by the fact the proposed extension would be single storey in height and setoff the side elevation of Guardian House by 3.9 metres, I do not consider a significant loss of light or outlook would occur. No breach of the 45-degree code would occur to the windows on the rear elevation of Guardian House. In terms of privacy, amended plans has been received to remove the originally proposed external staircase and raised walkway as well as introducing obscurely glazing the windows on the side elevation. I am now satisfied the privacy of neighbouring residential properties and external amenity areas has been protected and no significant loss of privacy would occur as a result of this proposal.

13.3 Design concerns

The proposed extension would be single storey in height and would be located to the rear of the existing property. The dwelling has been designed to comply with the National Described Space standards for a one bed, one person unit with a shower room being 37m². Furthermore, the appearance of the extension has been improved by the removal of the rear external staircase and walkway from the roof. Taking this into consideration, I am satisfied the proposed unit is acceptable in design and appearance and would cause no harm to the street scene or wider area. Although the proposed side facing windows would be obscurely glazed, the unit would have ample access to natural light with the living room area being served by a window and a roof light. To improve the appearance of the development, a condition for a dedicated bin storage area/structure has been included within the recommendation. In terms of drainage concerns raised, a condition for drainage details to be submitted has been included within the recommendation. However,



drainage matters would also be addressed by Building Regulations should the Planning Committee be minded to approve this application.

13.4 Highways concerns

The applicant has submitted an amended site plan showing vehicle parking at the rear for four vehicles. The Head of Highways has reviewed the amended plans and raised no objections to the application subject to a condition for signage within the site to be implemented for vehicles leaving the site to give priority to vehicles leaving the highway

13.5 Environmental concerns

Public Health have reviewed the application and raised no objections to the application. The proposal is for a residential use which is adjacent to other residential properties. The local planning authority are unable to control who chooses to live at the property. However, noise from music etc can be investigated by public health as a statutory nuisance. I do not consider smells from cooking from a residential property would cause significant harm to the amenity of neighbours. The rear car parking can be used now by the applicant/tenants and I do not consider the addition of one residential unit would significantly alter comings and goings to the property. To address concerns raised by objectors relating to noise and disturbance, dust and construction traffic from construction works, a condition for a construction method statement has been included within the recommendation. This would require the applicant to provide details of the parking of vehicles of site operatives and visitors; loading and unloading of plant and materials; measures to control the emission of dust and dirt during demolition construction and construction working hours.

14. Conclusion

On balance the proposal accords with the provisions of relevant development plan policies and there are no significant material



considerations which warrant refusal that could not be controlled by conditions.

15 Alternative Options

15.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant polices and there are no material considerations that would justify refusal.

16 Implications

Resources:	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
Legal and Governance:	This application is submitted under the Town and Country Planning Act 1990.
Risk:	None.
Equality:	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
Health and Wellbeing:	None.
Social Value	None.
Climate Change	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

17. Appendices

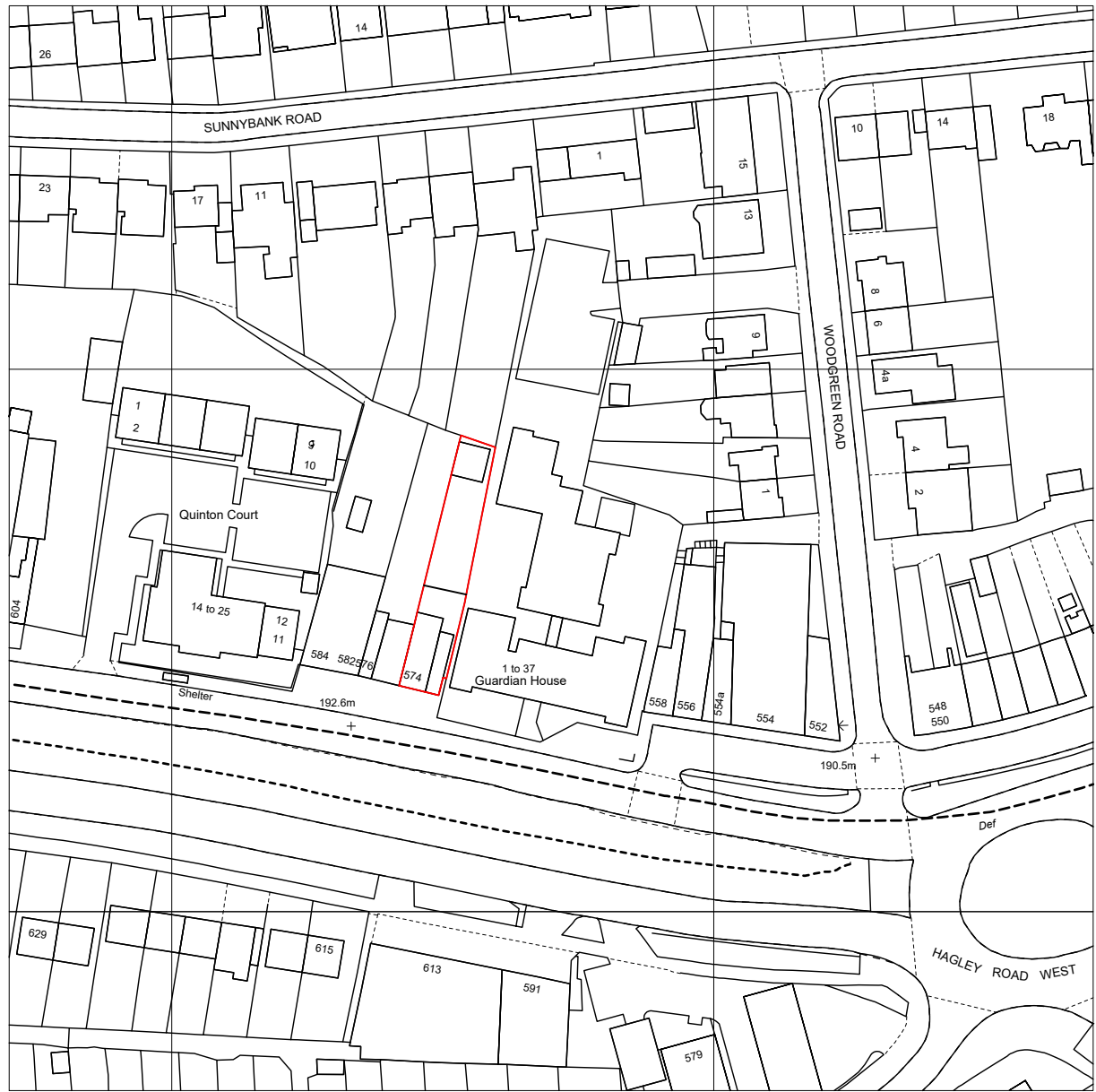


Context plan

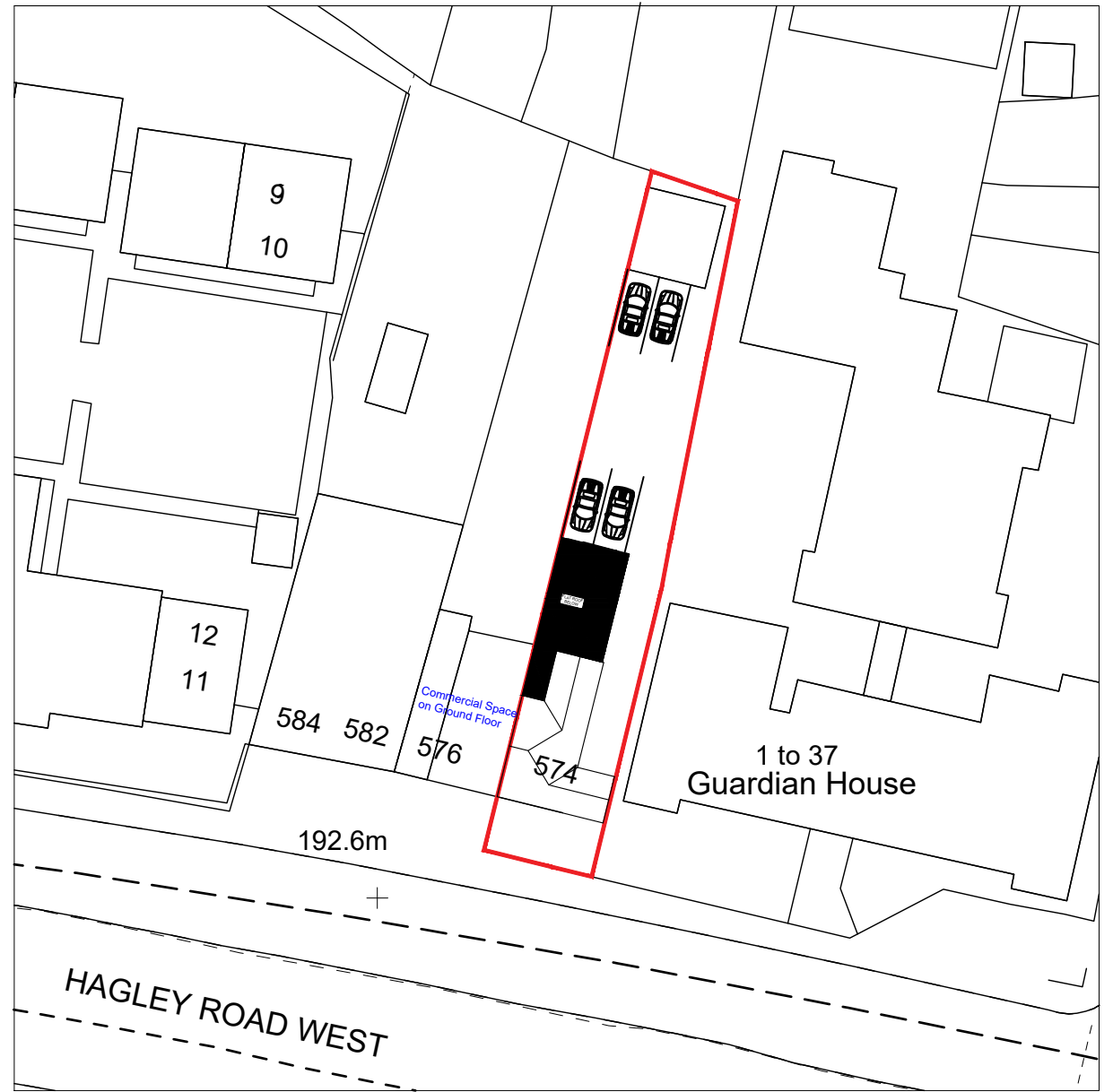
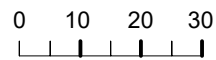
P000- REV A - AMENDED LOCATION/BLOCK PLAN

P002- REV A - AMENDED PROPOSED FLOOR/ROOF PLANS & ELEVATIONS

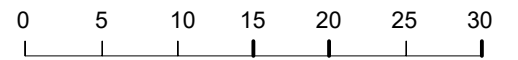




LOCATION PLAN
 North
 SCALE 1:1250



SITE PLAN
 North
 SCALE 1:500



GENERAL NOTES:

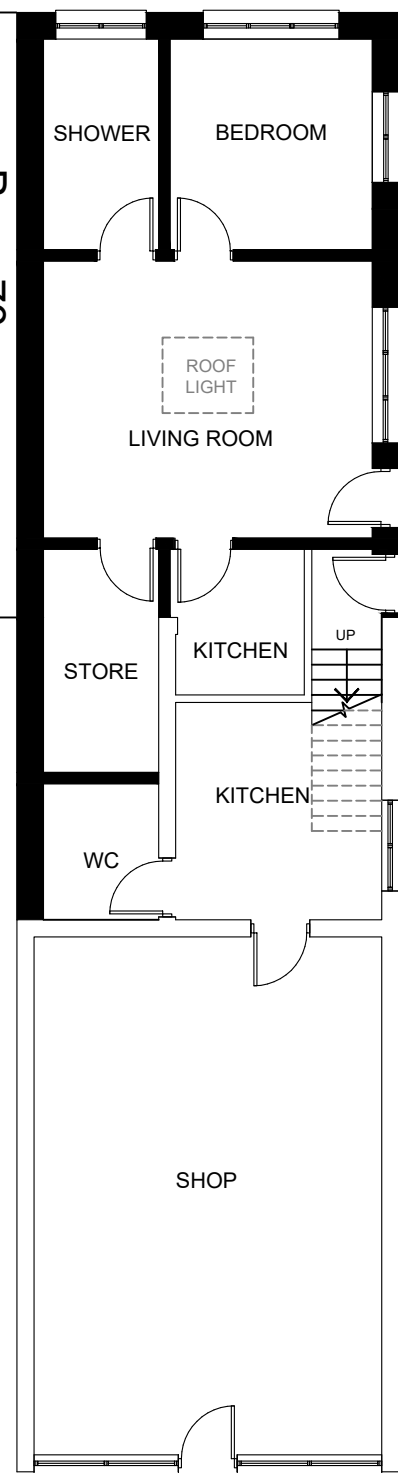
- ALL DIMENSIONS TO BE CHECKED
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS, CONSTRUCTION NOTES AND/OR PROJECT SPECIFICATION.
- ANY CONSTRUCTION WORK CARRIED OUT PRIOR TO RECEIVING NECESSARY APPROVALS IS ENTIRELY AT THE PROPERTY OWNERS/CLIENTS/BUILDERS RISK.
- ALL MATERIALS AND METHODS OF WORK TO COMPLY WITH ALL RELEVANT BRITISH STANDARDS AND/OR B.S. CODES OF PRACTICE. THE BUILDER IS TO ENSURE THAT ALL MATERIALS USED ARE FIT FOR THE PURPOSE.
- CONTRACTOR IS TO CARRY OUT A RISK ASSESSMENT FOR ALL ASPECTS OF THE CONTRACT, IN ACCORDANCE WITH THE HEALTH & SAFETY AT WORK ACT, AND IS TO COMPLY IN FULL WITH THE CDM REGULATIONS GIVING THE REQUIRED NOTICES TO ALL REGULATIVE BODIES (INCLUDING THE HEALTH & SAFETY EXECUTIVE).
- IT IS THE BUILDERS / PROPERTY OWNERS RESPONSIBILITY TO OBTAIN ALL NECESSARY PARTY WALL AGREEMENTS. THESE SHOULD BE

OBTAINED PRIOR TO ANY WORK BEING CARRIED OUT.

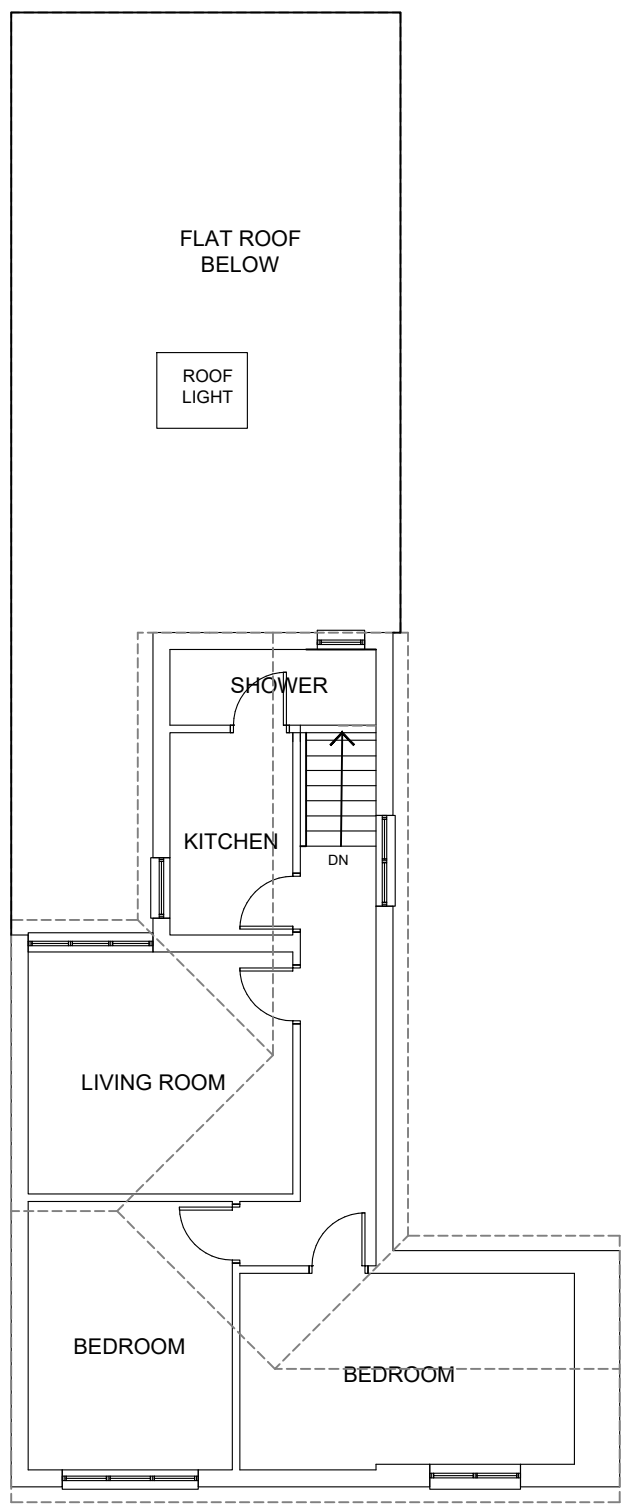
- PRIOR TO THE COMMENCEMENT OF ANY WORKS, THE BUILDER IS TO CHECK AND/OR DETERMINE ALL CONSTRUCTION DETAILS, INCLUDING CHECKING SITE LEVELS AND DIMENSIONS.
- CLIENT TO CONFIRM IF THERE ARE ANY PUBLIC DRAINAGE PIPES WITHIN 3M OF THE PROPOSED EXTENSION AND THEN SECURE APPROVAL FROM WATER AUTHORITY TO BUILD OVER OR CLOSE TO ACCESS TO A MANHOLE TO BE ADVISED BY CLIENT FOR ALL NECESSARY CCTV SURVEYS TO SATISFY WATER AUTHORITY PRE AND POST BUILDING WORKS.
- ALL WORKMANSHIP SHOULD BE CARRIED OUT IN WORKMAN LIKE MANNER AND STRICTLY IN ACCORDANCE WITH CODE OF PRACTICE AND TO BRITISH STANDARDS.
- SHOULD THE CONTRACTOR FIND ANY ERROR/S IN THE DRAWINGS THEN HE MUST INFORM CADDWORX LTD. PRIOR TO COMMENCEMENT / ORDERING ANY MATERIAL.

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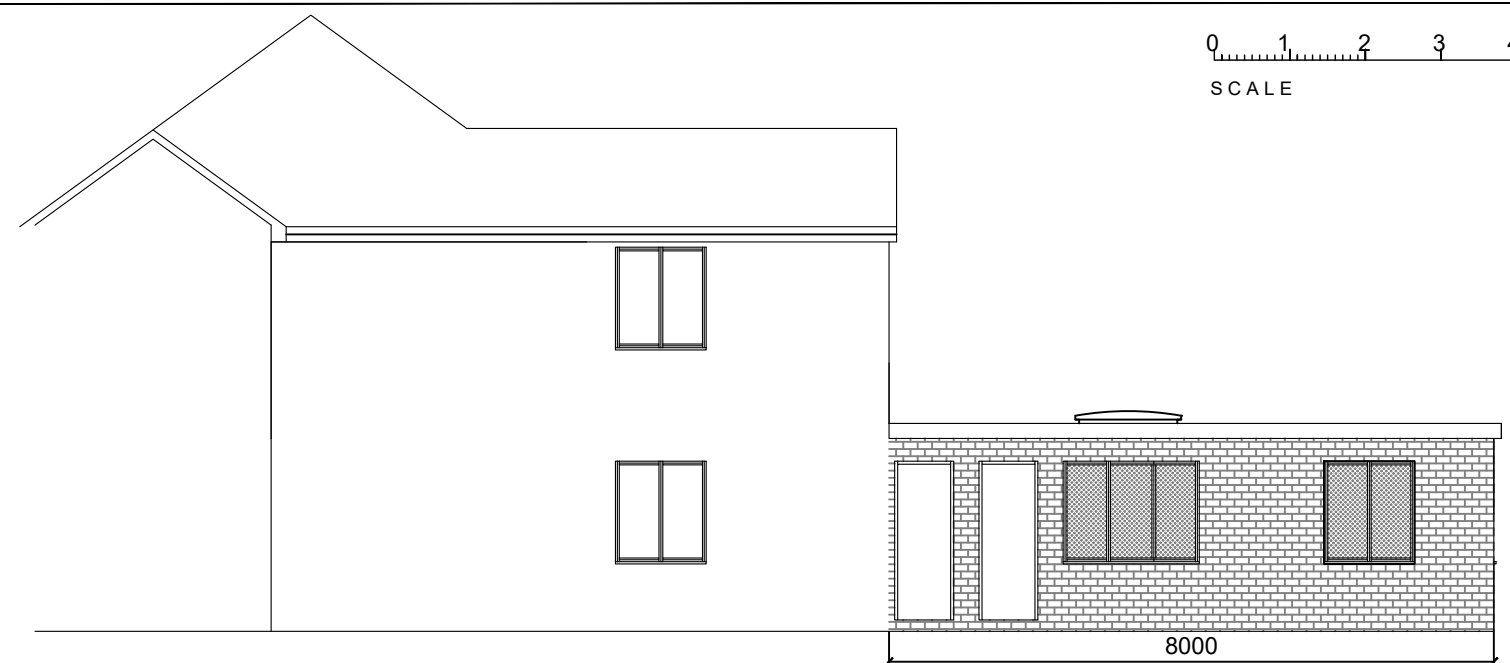
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	PROJECT: LOCATION AND SITE PLANS	Drawn By: IV Checked By: IV Date: 31-07-2023



PROPOSED GROUND FLOOR PLAN



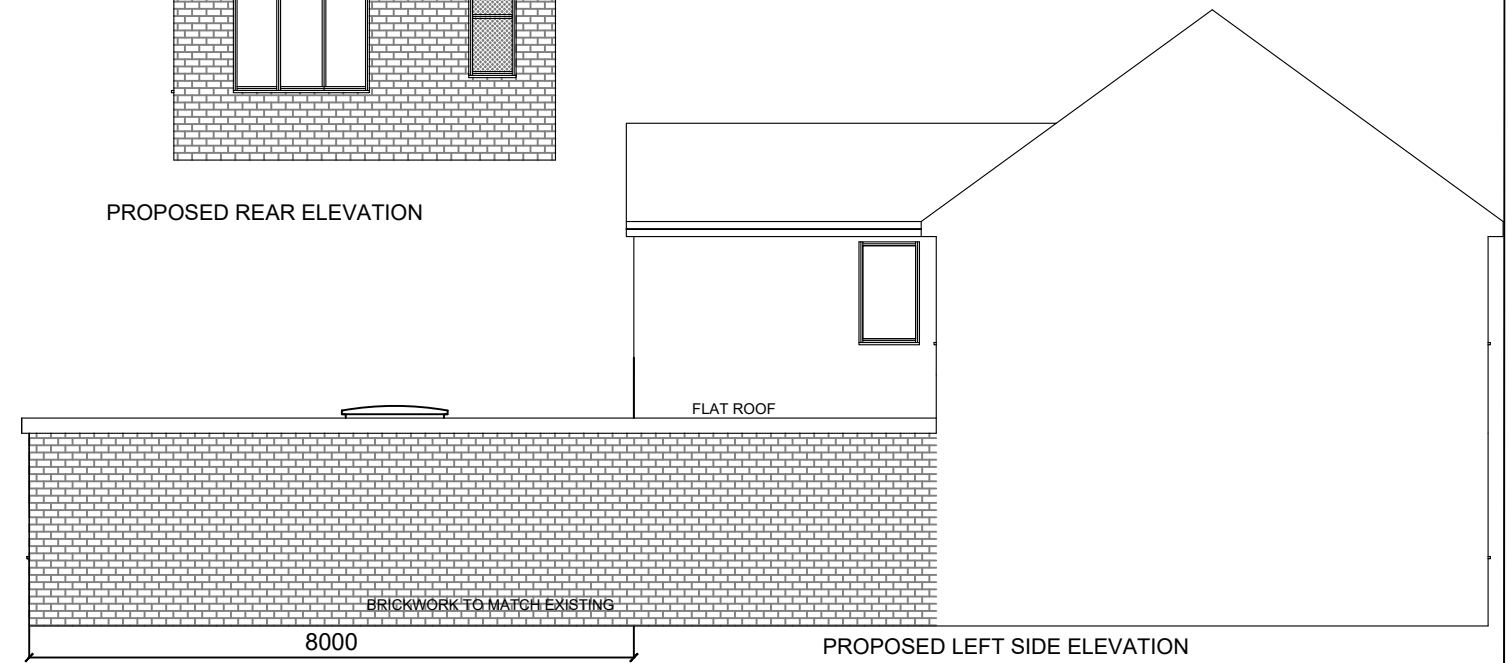
PROPOSED FIRST FLOOR PLAN



PROPOSED RIGHT SIDE ELEVATION



PROPOSED REAR ELEVATION



PROPOSED LEFT SIDE ELEVATION

GENERAL NOTES:

- ALL DIMENSIONS TO BE CHECKED
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS, CONSTRUCTION NOTES AND/OR PROJECT SPECIFICATION.
- ANY CONSTRUCTION WORK CARRIED OUT PRIOR TO RECEIVING NECESSARY APPROVALS IS ENTIRELY AT THE PROPERTY OWNERS/CLIENTS/BUILDERS RISK.
- ALL MATERIALS AND METHODS OF WORK TO COMPLY WITH ALL RELEVANT BRITISH STANDARDS AND/OR B.S. CODES OF PRACTICE. THE BUILDER IS TO ENSURE THAT ALL MATERIALS USED ARE FIT FOR THE PURPOSE.
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- IT IS THE BUILDERS / PROPERTY OWNERS RESPONSIBILITY TO OBTAIN ALL NECESSARY PARTY WALL AGREEMENTS. THESE SHOULD BE

OBTAINED PRIOR TO ANY WORK BEING CARRIED OUT.

- PRIOR TO THE COMMENCEMENT OF ANY WORKS, THE BUILDER IS TO CHECK AND/OR DETERMINE ALL CONSTRUCTION DETAILS, INCLUDING CHECKING SITE LEVELS AND DIMENSIONS.
- CLIENT TO CONFIRM IF THERE ARE ANY PUBLIC DRAINAGE PIPES WITHIN 3M OF THE PROPOSED EXTENSION AND THEN SECURE APPROVAL FROM WATER AUTHORITY TO BUILD OVER OR CLOSE TO ACCESS TO A MANHOLE TO BE ADVISED BY CLIENT FOR ALL NECESSARY CCTV SURVEYS TO SATISFY WATER AUTHORITY PRE AND POST BUILDING WORKS.
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**574 HAGLEY ROAD WEST
OLDBURY
B68 0BS**

PROJECT:

**PROPOSED LAYOUT PLANS
AND ELEVATIONS**

Drawing No: P002
Rev: A
Scale: 1:100 @ A3
Drawn By: **IV**
Checked By: VI
Date: 31-07-2023

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Report to Planning Committee

6 September 2023

Application Reference	DC/23/68391
Application Received	19th June 2023.
Application Description	Proposed rendering to front, side and rear, paved driveway, and replacement roof with side windows on existing lean to extension.
Application Address	5 Little Croft Great Barr Birmingham B43 6DA.
Applicant	Mr Girri Babu Gaddam
Ward	Charlemont with Grove Vale.
Contact Officer	Anjan Dey Anjan_dey@sandwell.gov.uk

1 Recommendations

1.1 That planning permission is granted subject to conditions relating to:


- (i) Details of drainage (SUDs) to be submitted to the LPA for approval and approved details implemented thereafter.

2 Reasons for Recommendations

2.1 The proposed development would be of satisfactory design and would not significantly impact the amenity of neighbouring properties.



3 How does this deliver objectives of the Corporate Plan?

	Quality homes in thriving neighbourhoods
---	--

4 Context

- 4.1 The application is being reported to your planning committee because the Agent is an employee of Sandwell MBC.
- 4.2 To assist members with site context, a link to Google Maps is provided below:

[5 Little Croft, Great Barr](#)

5 Key Considerations

- 5.1 The material planning considerations which are relevant to this application are:-

Highway concerns – parking
Design concerns - appearance

6. The Application Site

- 6.1 The application site is on the southern side of Little Croft, Great Barr and relates to a detached property within a residential area.

7. Planning History

- 7.1 There is no planning history for this property.



8. Application Details

- 8.1 The applicant seeks to render the front, side and rear elevations of the property and replace the roof of the existing side 'lean-to' extension, and also install side windows. It is also proposed to extend the existing driveway by block paving a small area of landscaping/planting area.
- 8.2 Submitted elevation drawings show that it proposed to render the elevations in a light grey colour. Refurbishment of the existing lean-to includes new brickwork, glazed roof and windows. There is an existing paved area at the front of the house which is to be extended.

Dimensions for the refurbished 'lean-to' are 5.1m long by 1.4m wide by 2.35m high to the height of the mono-pitched roof.

9. Publicity

- 9.1 The application has been publicised by neighbour notification letters without response.

10. Consultee responses

10.1 Highways

Highways has pointed out that the integral garage has been converted into a habitable room and cars parked on the driveway may overhang onto the adopted highway.

11. National Planning Policy

- 11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.



11.2 The same guidance refers to development adding to the overall quality of the area by achieving high quality design, achieving good architecture and layouts.

12. Local Planning Policy

12.1 The following policies of the council's Development Plan are relevant:

12.3 ENV3 and SAD EOS9 refers to well-designed schemes that provide quality living environments. The proposed layout and design are considered to be acceptable.

13. Material Considerations & other relevant considerations

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

13.3 Highway concerns

Notwithstanding comments from Highways it is considered that the proposals do not include an increase in the number of bedrooms that would require additional off-road parking for the property. Furthermore, no extensions are proposed that would erode existing parking provision for the property or displace parking onto the street. In view of this I do not consider that the proposals would have a detrimental impact on highway safety.

Furthermore, permitted development rights have not been removed from the property that would prevent garage conversions into habitable rooms, or additional areas of hardstanding up to an area of 5 square metres. It is also noted that Little Croft only consists of 9 residential properties with low levels of vehicle and pedestrian activity.



13.4 Design

The proposals to render the elevations of the property are considered acceptable; it is noted that a property a few doors away has partially rendered front elevation, in a similar grey colour, and in this respect the external appearance of the dwelling would not be adversely affected. See image below:



The works to the existing lean-to extension would help to uplift its appearance and it is noted that set back considerably from the main front elevation and is positioned right up against the side elevation of the neighbouring dwelling – no 3.

On balance the proposals are considered to adhere to relevant design policies ENV3 and EOS9.

14. Conclusion

On balance the proposal accords with the provisions of relevant development plan policies and there are no significant material



considerations which warrant refusal that could not be controlled by conditions.

15 Alternative Options

15.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant policies and there are no material considerations that would justify refusal.

16 Implications

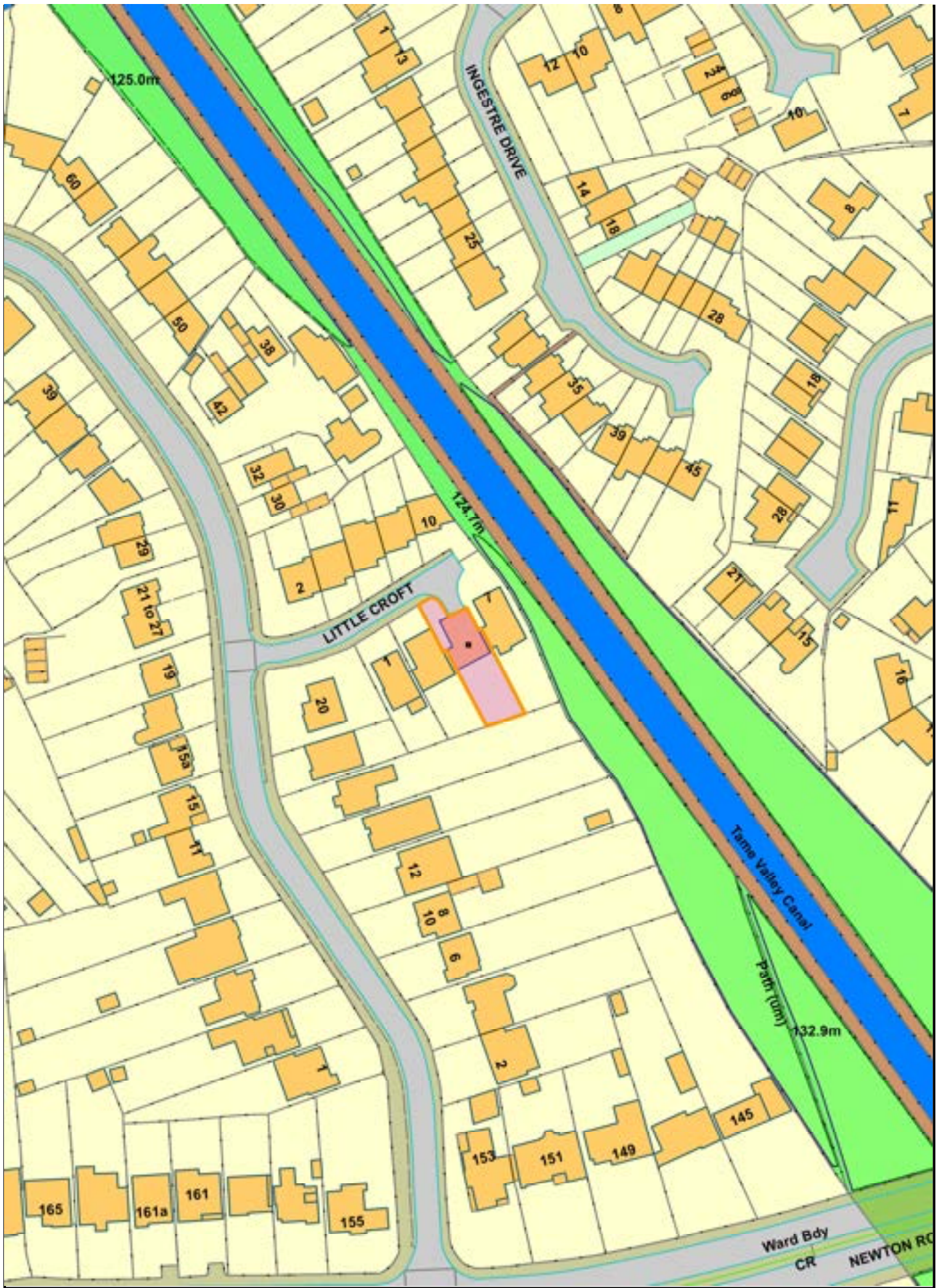
Resources:	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
Legal and Governance:	This application is submitted under the Town and Country Planning Act 1990.
Risk:	None.
Equality:	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
Health and Wellbeing:	None.
Social Value	None.
Climate Change	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

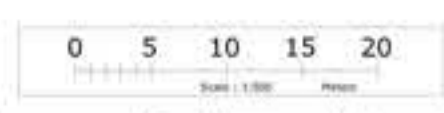


17. Appendices

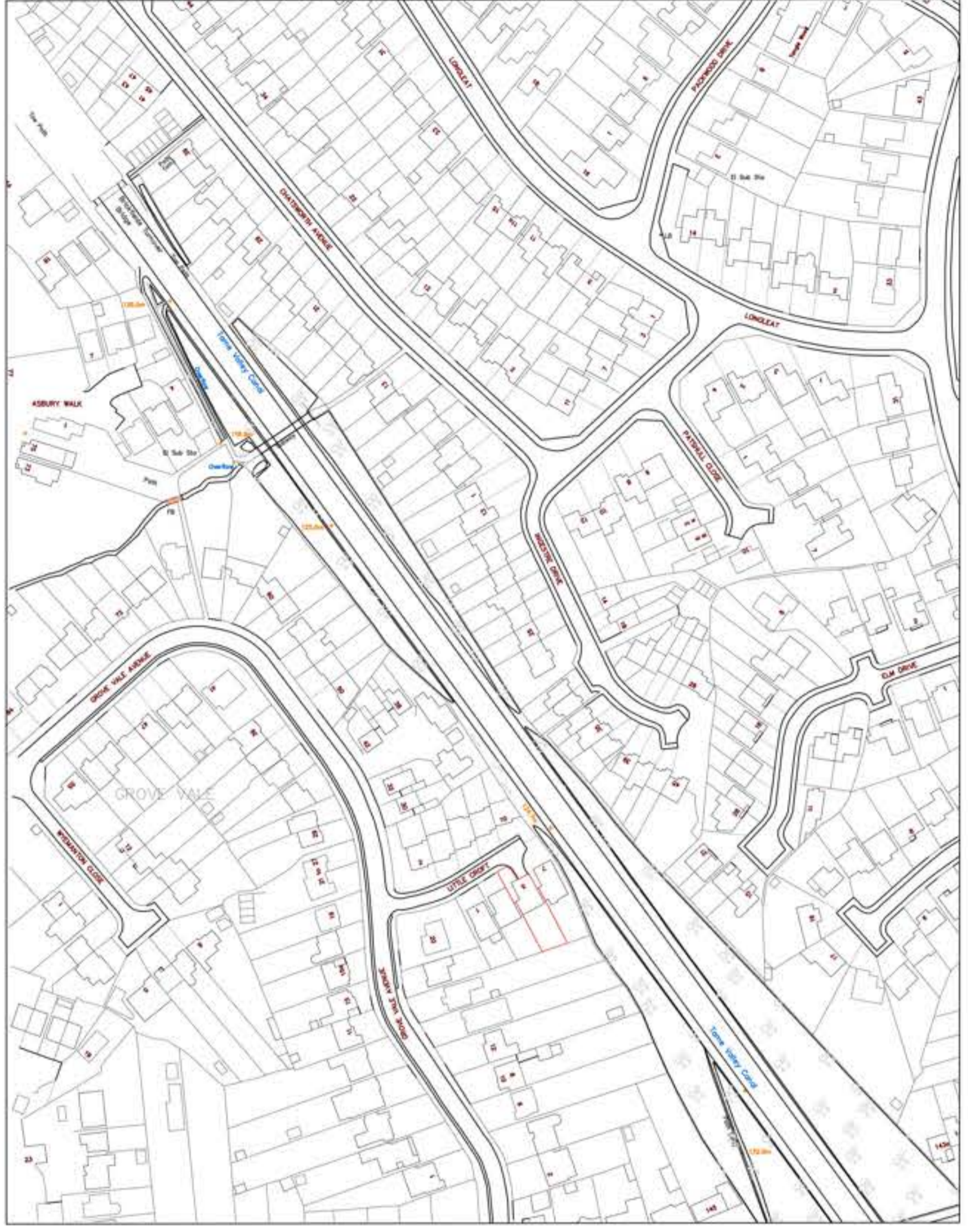
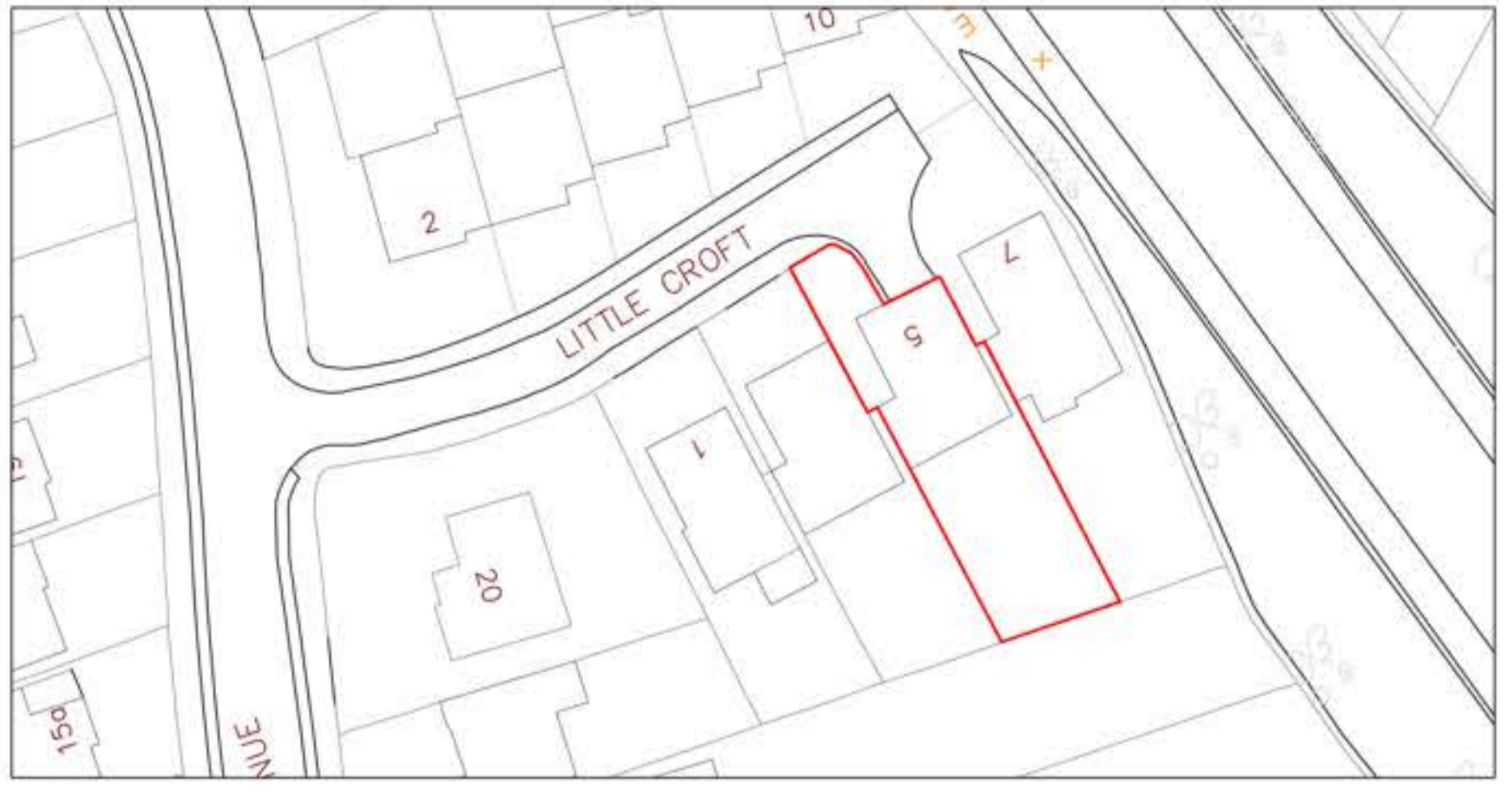
Location Plan, existing floor plans and elevations 2023-01 01
Proposed floor plans & elevations 2023-02 01



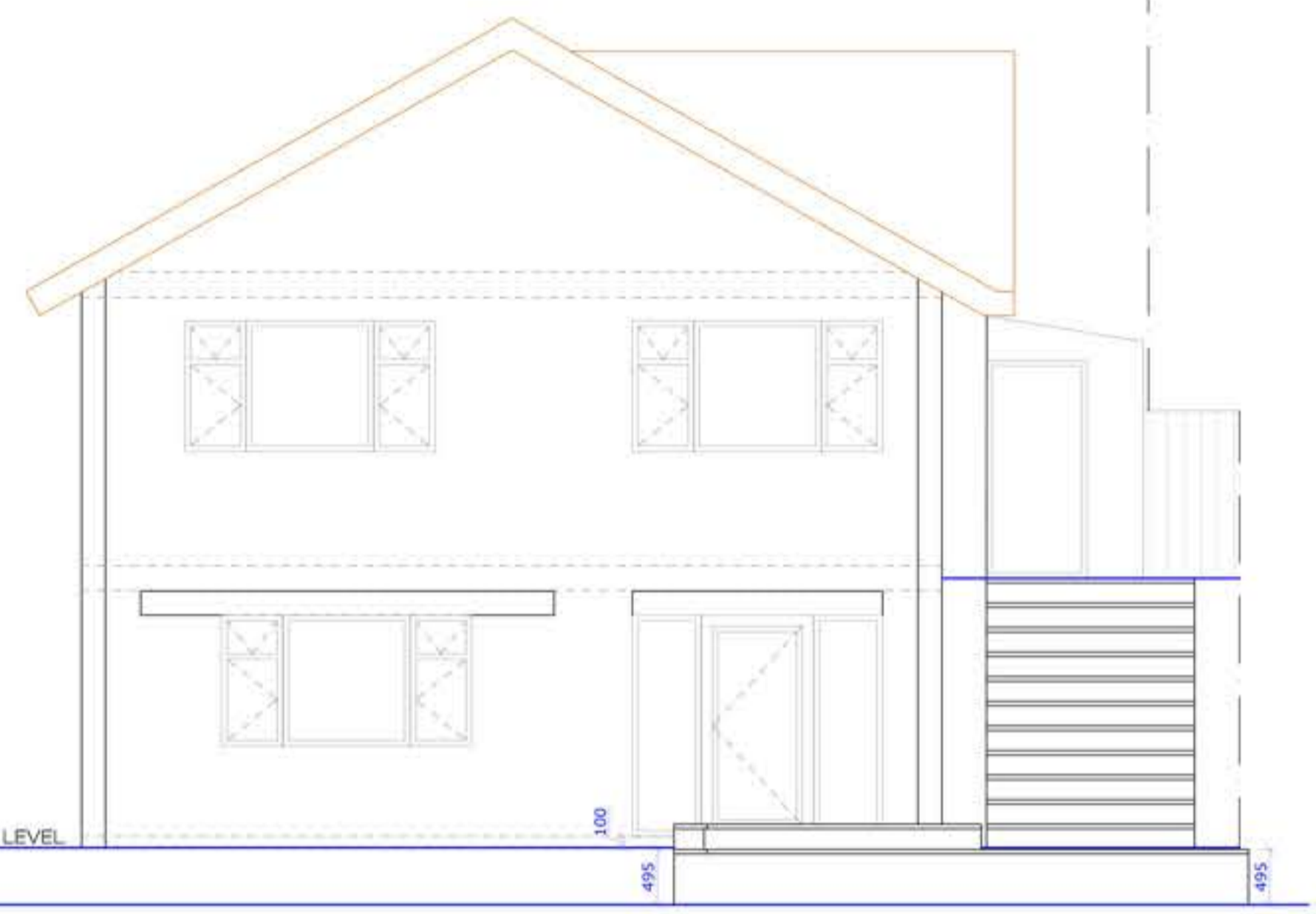




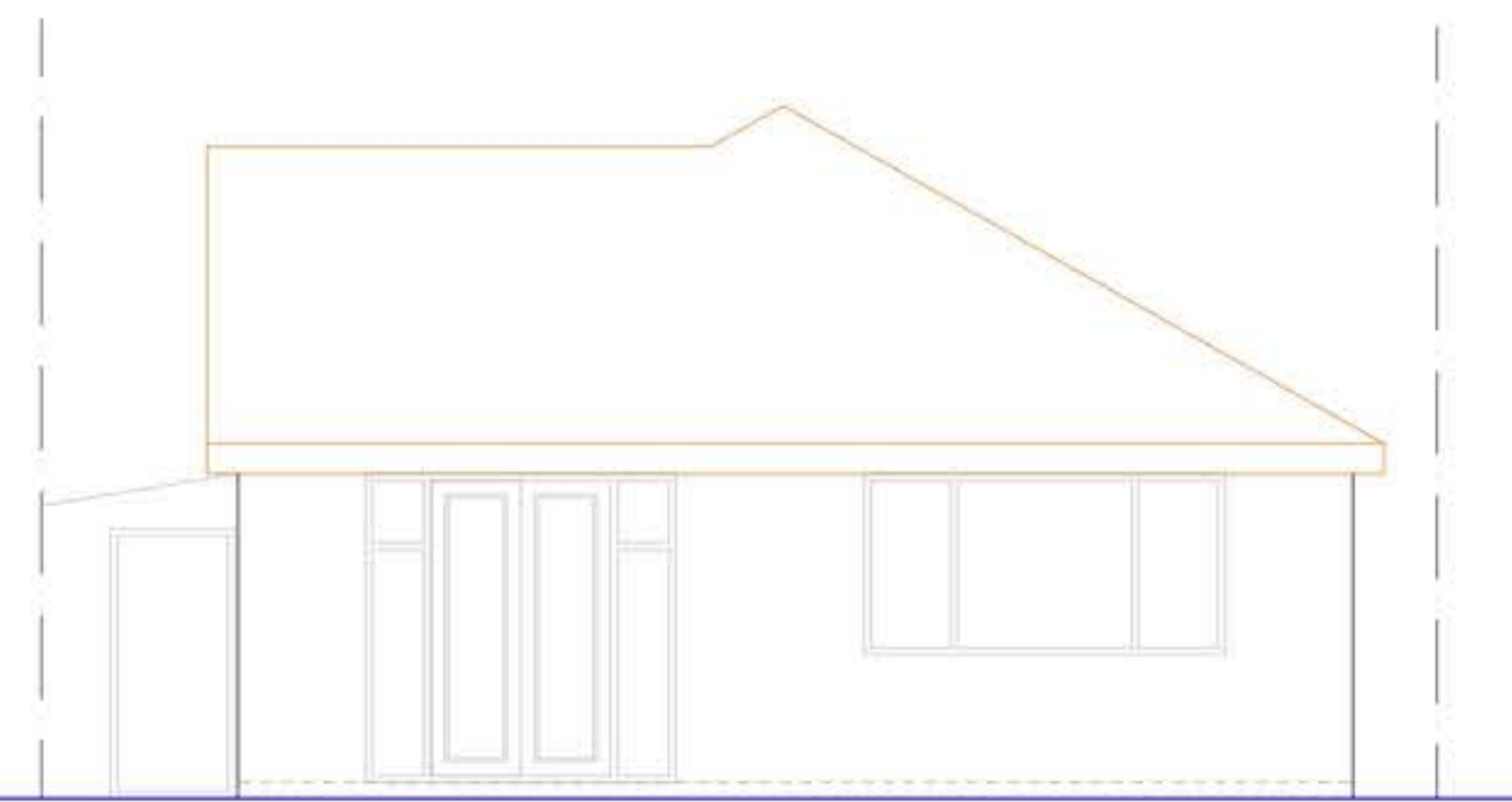
Site Plan
Scale 1:500



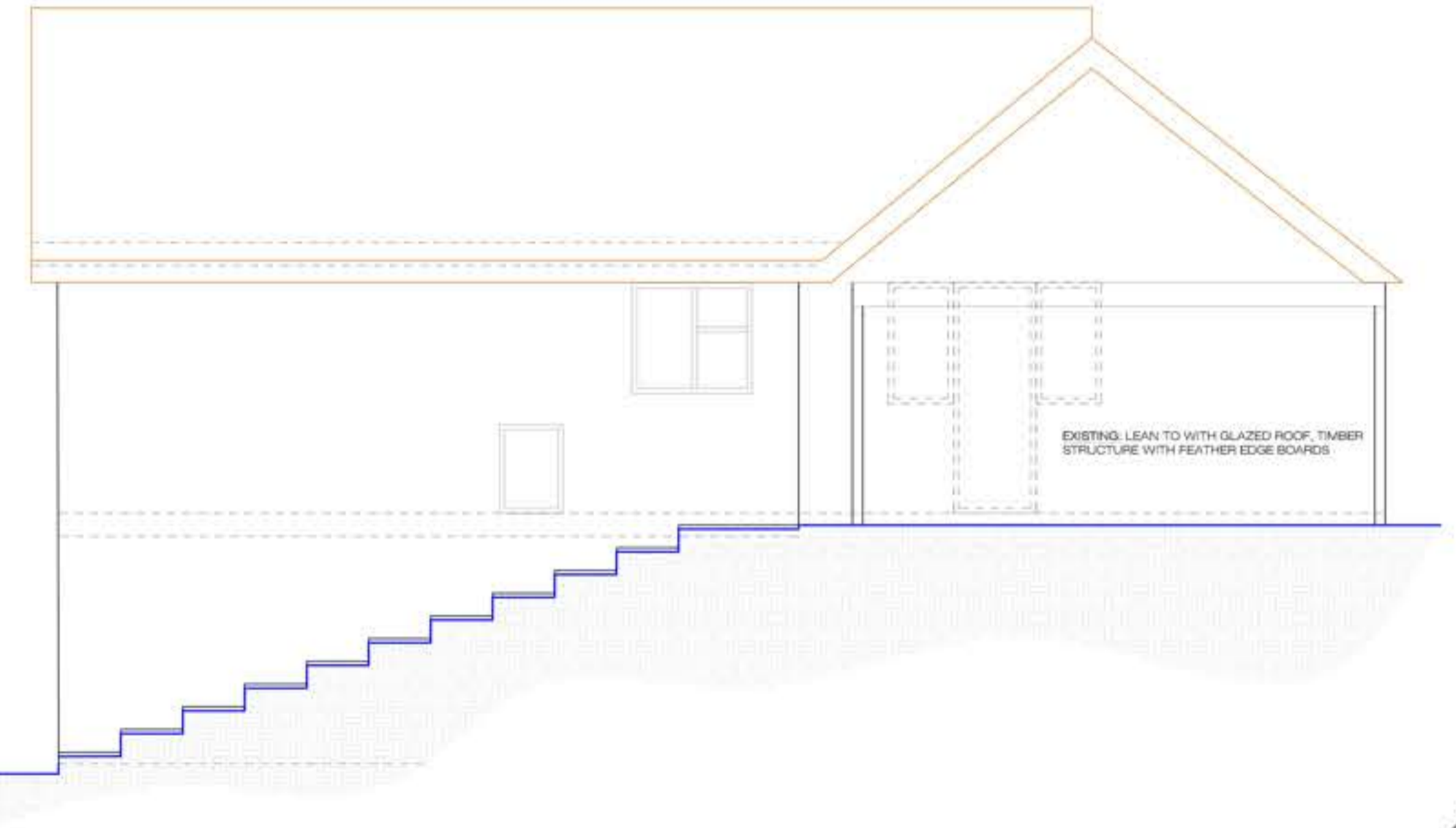
Page 03
5 LITTLE CROFT



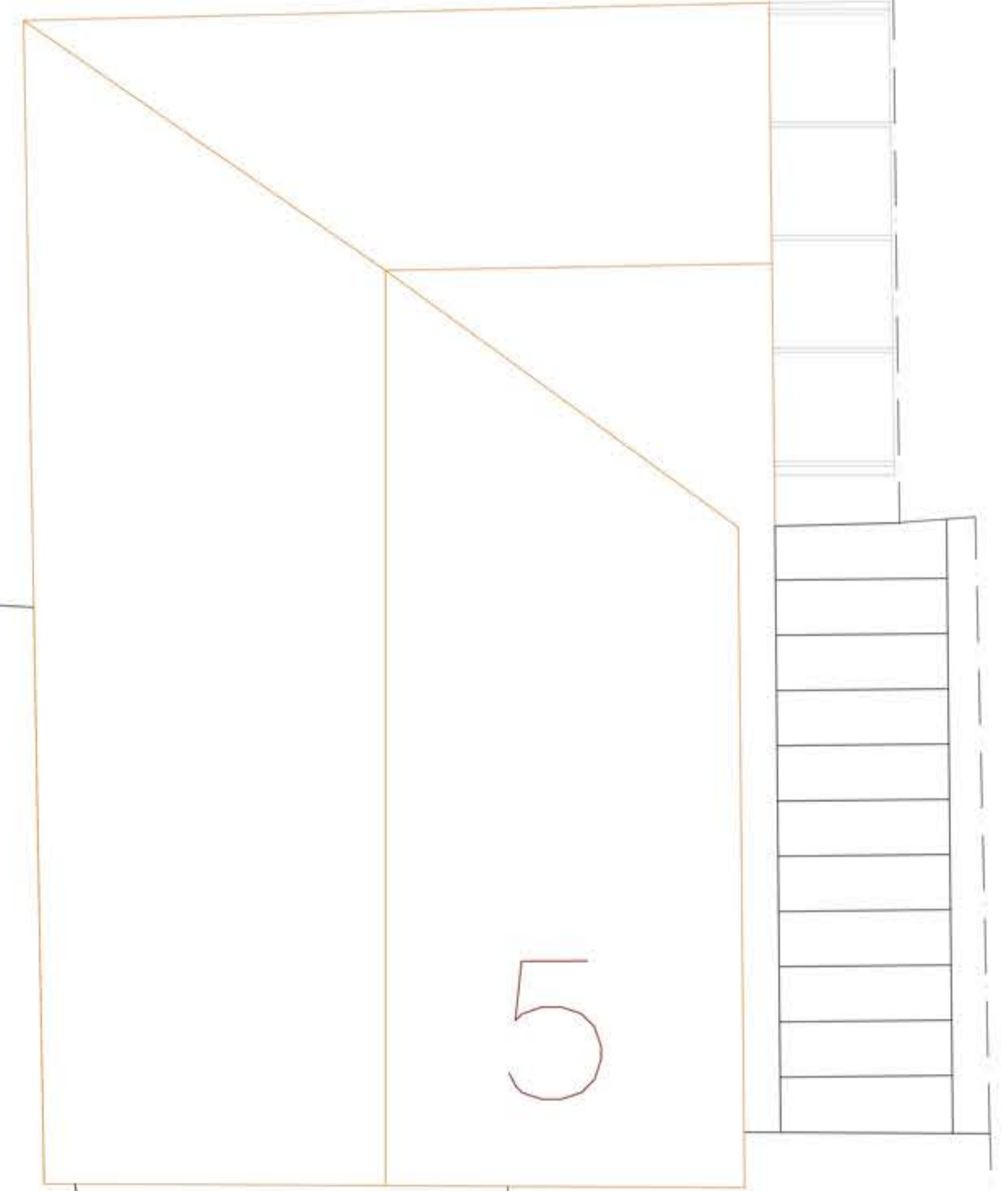
FRONT ELEVATION
@ 1:50



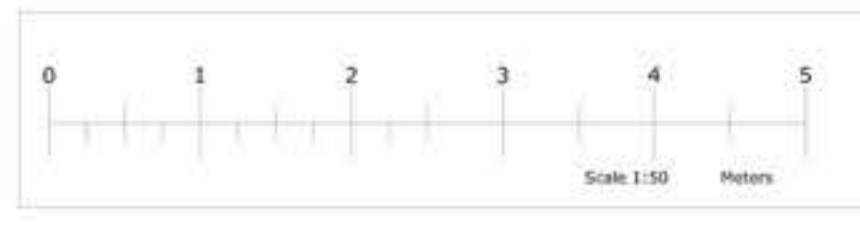
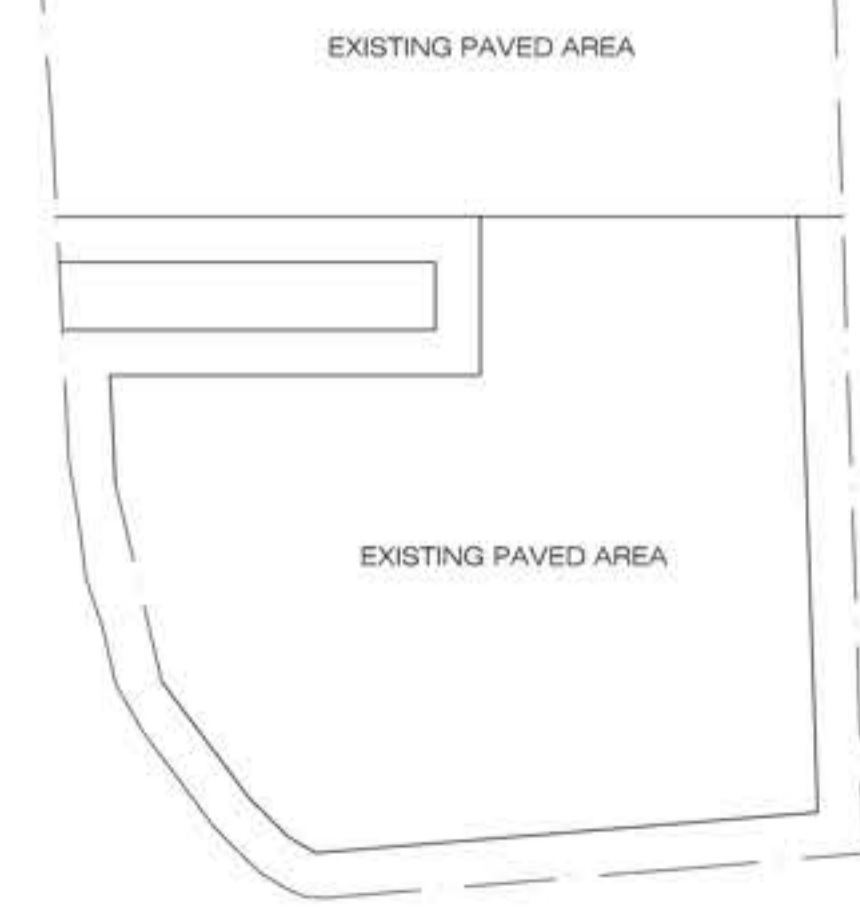
REAR ELEVATION
@ 1:50



SIDE ELEVATION
@ 1:50



FLOOR PLAN @ 1:50

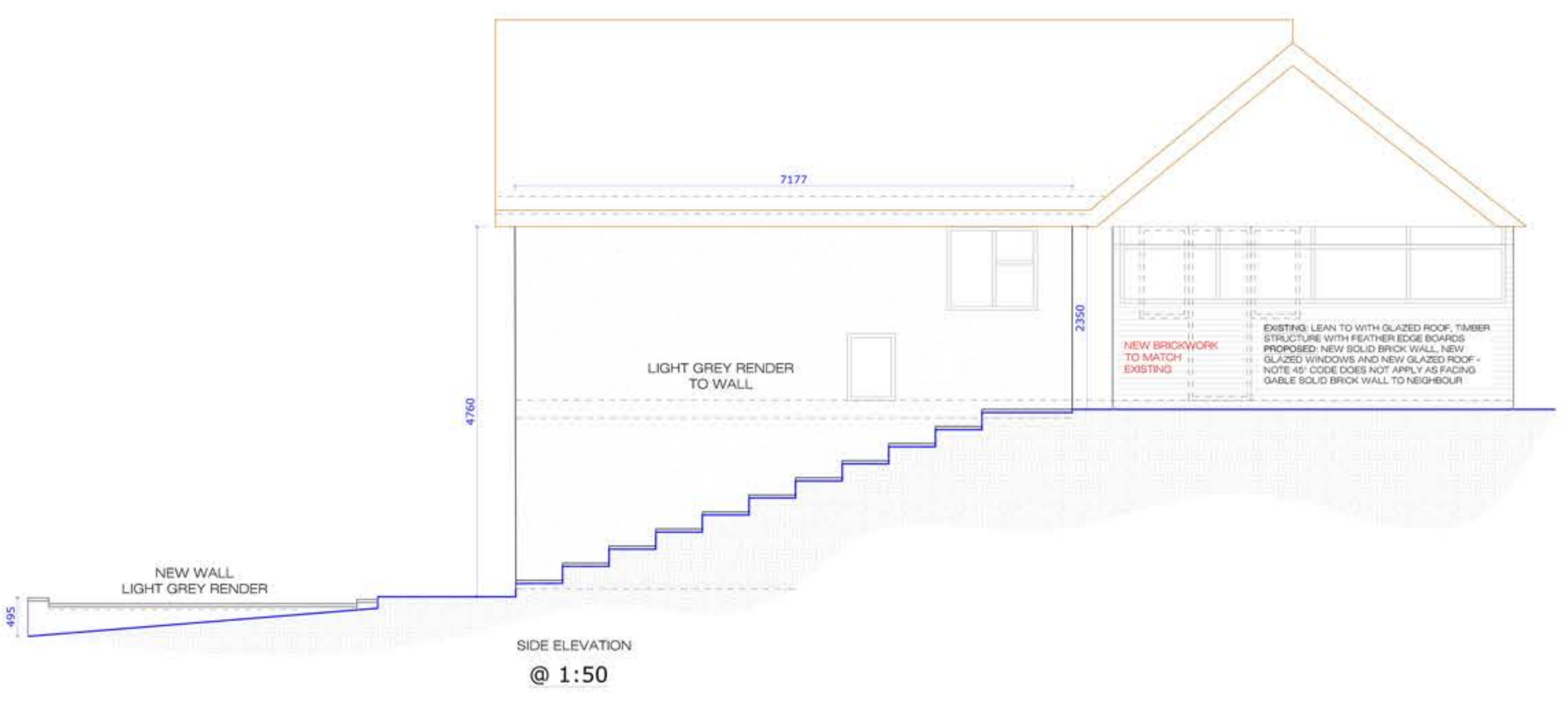
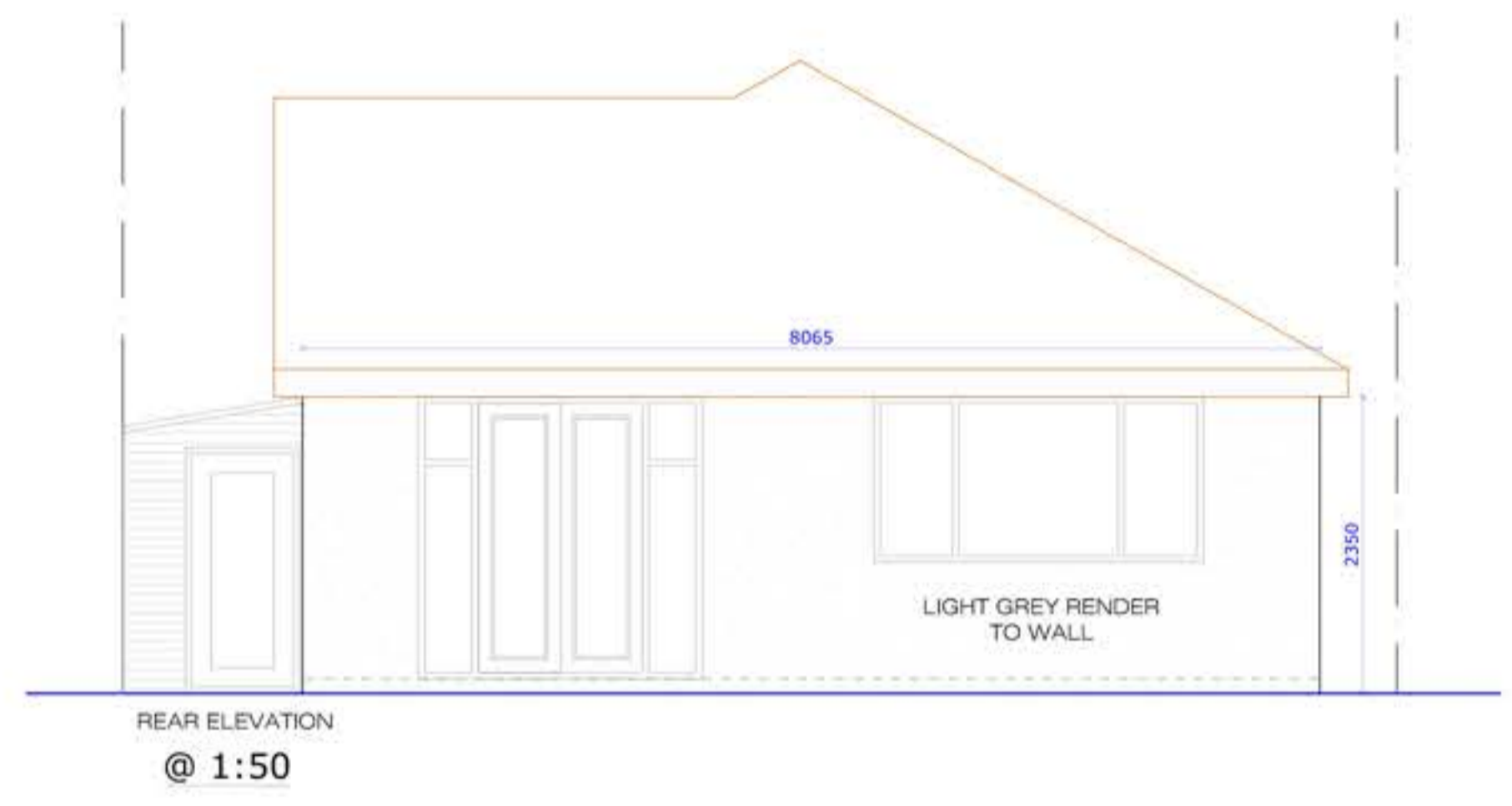


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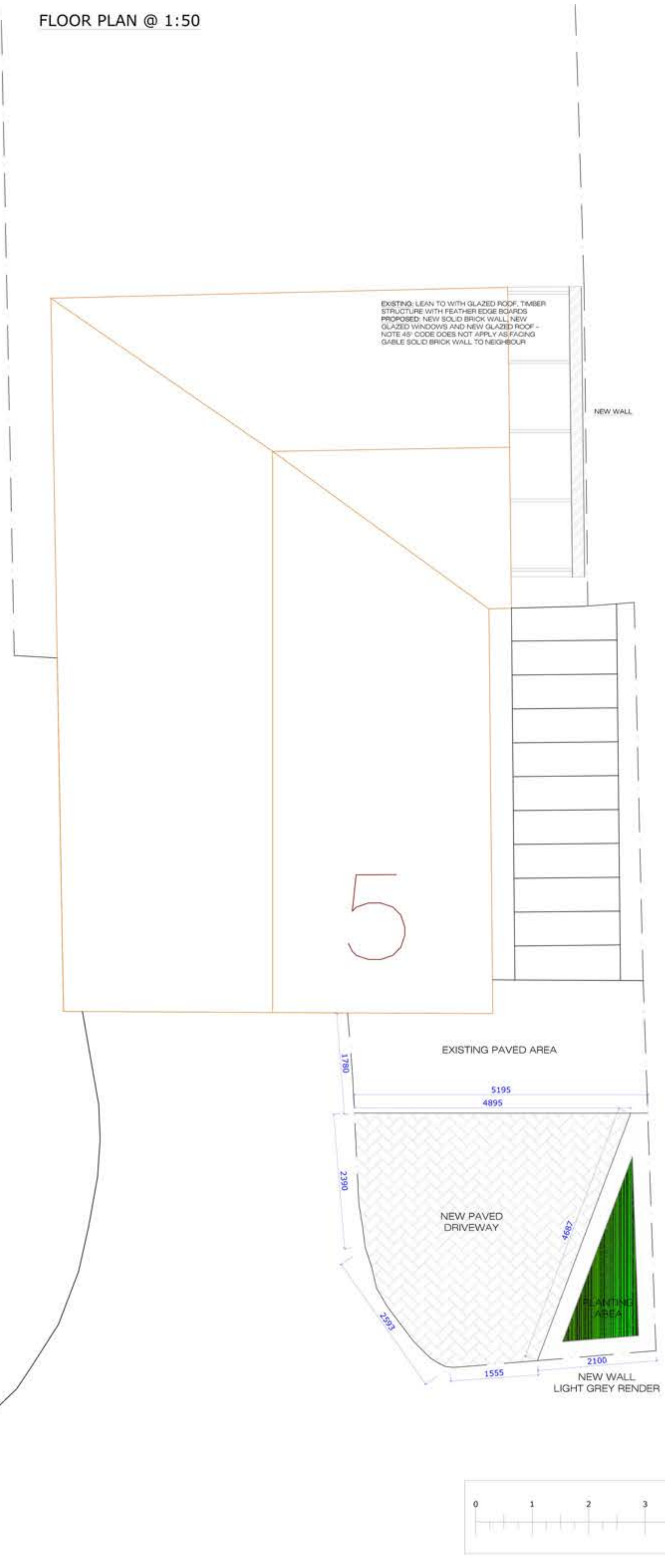
REVISIONS

CLIENT:
[REDACTED]
JOB:
5 Little Croft, Great Barr, Birmingham, B43 6DA
DRG TITLE:
Site and Location Plan
Existing Plans and Elevations
DRG NO. 2023-01/
REV. 01
Paper A1
DATE: May '23 **SCALE:** VARIES





FLOOR PLAN @ 1:50



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REVISIONS

CLIENT:
 [REDACTED]

JOB:
 5 Little Croft, Great Barr, Birmingham, B43 6DA

DRG TITLE:
 Proposed Plan and Elevations

DRG NO.	REV.	Paper
2023-02/	01	A1

DATE: May '23 SCALE: 1:50

Report to Planning Committee

6 September 2023

Application Reference	DC/23/68448
Application Received	20 th July 2023
Application Description	Proposed single and two storey side and rear extension, front canopy and garage conversion into habitable space.
Application Address	180 Walsall Road West Bromwich B71 3LH
Applicant	Faryad Ahmed
Ward	Hateley Heath
Contact Officer	Beth Astley-Serougi Beth_AstleySerougi@sandwell.gov.uk

1 Recommendations

1.1 Subject to receipt of satisfactory amended plans, that planning permission is granted subject to conditions relating to:


- i. External Materials to match the existing property.
- ii. The bathroom window on the side elevation of the first floor to be obscurely glazed and retained as such.



2 Reasons for Recommendations

- 2.1 The proposed development would be of satisfactory design and would not significantly impact on the private amenity of neighbouring properties, in terms of loss of light, outlook and privacy.

3 How does this deliver objectives of the Corporate Plan?

	Quality homes in thriving neighbourhoods
---	--

4 Context

- 4.1 The application is being reported to your committee because the Agent is an employee of Sandwell MBC.
- 4.2 To assist members with site context, a link to Google Maps is provided below:

[180 Walsall Road, West Bromwich](#)

5 Key Considerations

- 5.1 The site is not allocated within the Development Plan.
- 5.2 The material planning considerations which are relevant to this application are: -

Amenity concerns – Overlooking/loss of privacy, loss of light and outlook and overshadowing

Design concerns - appearance and materials, layout and density of building, wider visual amenity and overdevelopment

Highways considerations - parking



6. The Application Site

- 6.1 The application site relates to a three-bedroom semi-detached property on the western side of Walsall Road, West Bromwich. The site is within a predominately residential area. The Stone Cross Public House and the retail core of Stone Cross is to the south of the application site.

7. Planning History

- 7.1 There is no planning history for this property.

8. Application Details

- 8.1 The applicant seeks to construct a two-storey side and rear extensions as well as a single storey rear extension, front canopy and garage conversion into habitable space. The number of bedrooms is to be increased to five.
- 8.2 The single storey rear extension would measure: 1.54m in length, 3.55m in width and 3.5m in height to the maximum height of the pitched roof.
- 8.3 The two-storey side extension would measure as follows: Ground floor (including conversion of garage) – 7.6m in length and 2.87m in width. First floor – 7m in length and 2.8m in width and 8 metres in height to the maximum height of the roof.
- 8.4 The single storey front extension would measure 1.36m in depth, 2.8m in width and 3.5m in height to the maximum height of the pitched roof. The front canopy would measure 1.2m in depth and 5m in width at maximum.

9. Publicity

- 9.1 The application has been publicised by neighbour notification letters with one objection received from a local resident.



9.2 Objections

Objections have been received on the following grounds:

- i) Loss of light to the neighbouring property.
- ii) Loss of privacy to the neighbouring property.
- iii) Increase of noise and disturbance to the neighbouring property.
- iv) Overdevelopment of the plot

Non-material objections have been raised regarding boundary issues, Party Wall matters and health issues.

The objector also raises concerns regarding an outbuilding. This is not part of this application and is currently subject of an enforcement case not relevant to the determination of this application

These objections will be addressed in section 13 (Material Considerations).

10. Consultee responses

10.1 Highways

No objections have been received. The front driveway can accommodate three vehicle spaces required for a five- bedroom property although this will slightly overhang the footway. However, this is an existing property and occupiers of neighbouring properties use all of their property frontage to provide off-street parking.

11. National Planning Policy

11.1 National Planning Policy Framework (NPPF) promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.



- 11.2 The Framework refers to development adding to the overall quality of the area by achieving high quality design, achieving good architecture and layouts.
- 11.3 The Framework promotes sustainable transport options for development proposal and paragraph 111 states that developments should be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.
- 11.4 Given the above, I believe the proposal accords with the provisions of the NPPF.

12. Local Planning Policy

- 12.1 The following policies of the council's Development Plan are relevant:

ENV3: Design Quality

SAD EOS9: Urban Design Principles

- 12.2 ENV3 and SAD EOS9 refers to well-designed schemes that provide quality living environments. The proposed layout and design are considered to be broadly acceptable, however it is considered that the rear first floor could be lowered in height to ensure it is subservient to the main house. Amended plans have been requested as such.

13. Material Considerations

- 13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

13.2 Amenity concerns - Loss of light and privacy

With regards to the adjoining semi-detached property, it is considered that the floor plans demonstrate that the ground floor and first floor rear



extensions complies with the Council's adopted 45-degree code, as contained within the Revised Residential Design Guide (SPD). The ground floor rear extension is to adjoin an existing extension and it is my view that both the single and two storey extensions would not result in any significant loss of light to the adjoining property.

There are no windows on the side elevation of the proposed single storey rear extension and therefore the privacy of the neighbouring semi-detached property will be maintained.

The bathroom window on the side elevation of the proposed first-floor side extension is recommended to be obscurely glazed via condition thus ensuring the privacy of neighbouring properties.

13.4 Design concerns

In my opinion, the design of the extensions proposed is broadly satisfactory and I do not consider this would result in any undue harm to the character of the area. The side extension has been set back and set down from the front elevation and highest point of the roof respectively (as per the adopted Residential Design Guide). However, the rear extensions is not currently subservient to the main house and it is considered that an marginal decrease in the roof height (800mm) would improve its overall scale and massing. Amended plans have been requested as such and subject to this amendment it is considered that the extensions would not be overly dominate or impose on the neighbouring properties.

Furthermore a window on the side elevation of the first-floor element of the two-storey side extension has been added. This creates a design that prevents a solid brick wall facing the highway and therefore a higher level of design.

Furthermore, I do not consider the proposed development to constitute overdevelopment of the plot considering the level of remaining space to the front and rear of the property.



13.5 Highways concerns

Highways have been consulted and have confirmed that the front driveway can accommodate the three spaces required for a five-bedroom dwelling. Highways have considered the depth of the drive and also the neighbouring properties.

14. Conclusion

On balance, subject to receipt of amended plans, the proposal accords with the provisions of relevant development plan policies and there are no significant material considerations which warrant refusal that could not be controlled by conditions.

15 Alternative Options

15.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant policies and there are no material considerations that would justify refusal.

16 Implications

Resources:	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
Legal and Governance:	This application is submitted under the Town and Country Planning Act 1990.
Risk:	None.
Equality:	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.



Health and Wellbeing:	None.
Social Value	None.
Climate Change	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

17. Appendices

Location plan – 2023- 01 - 01

Proposed plans and elevations 2023- 04- 01 – REV 2

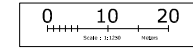
Existing plans and elevations 2022-03- 01 REV 2

Block Plan 2023-02-01



Site Location Plan - Existing

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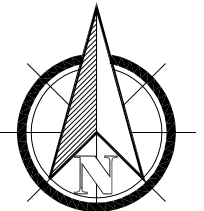
Page 99



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REVISIONS



CLIENT:

Mr Faryad Ahmed

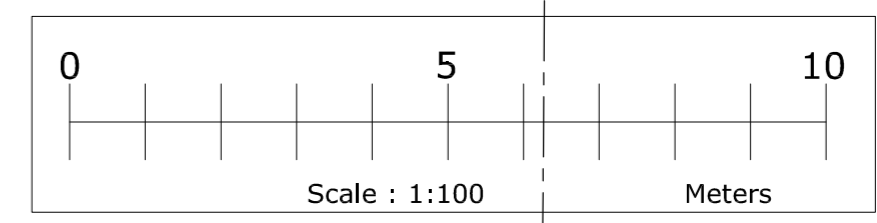
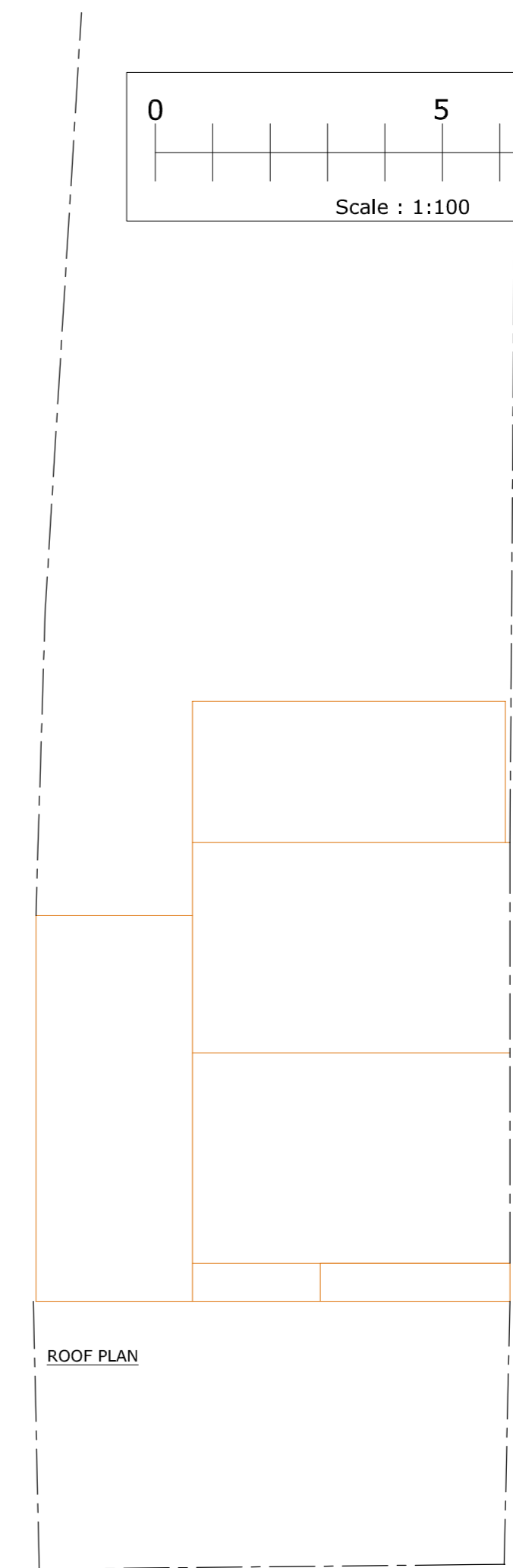
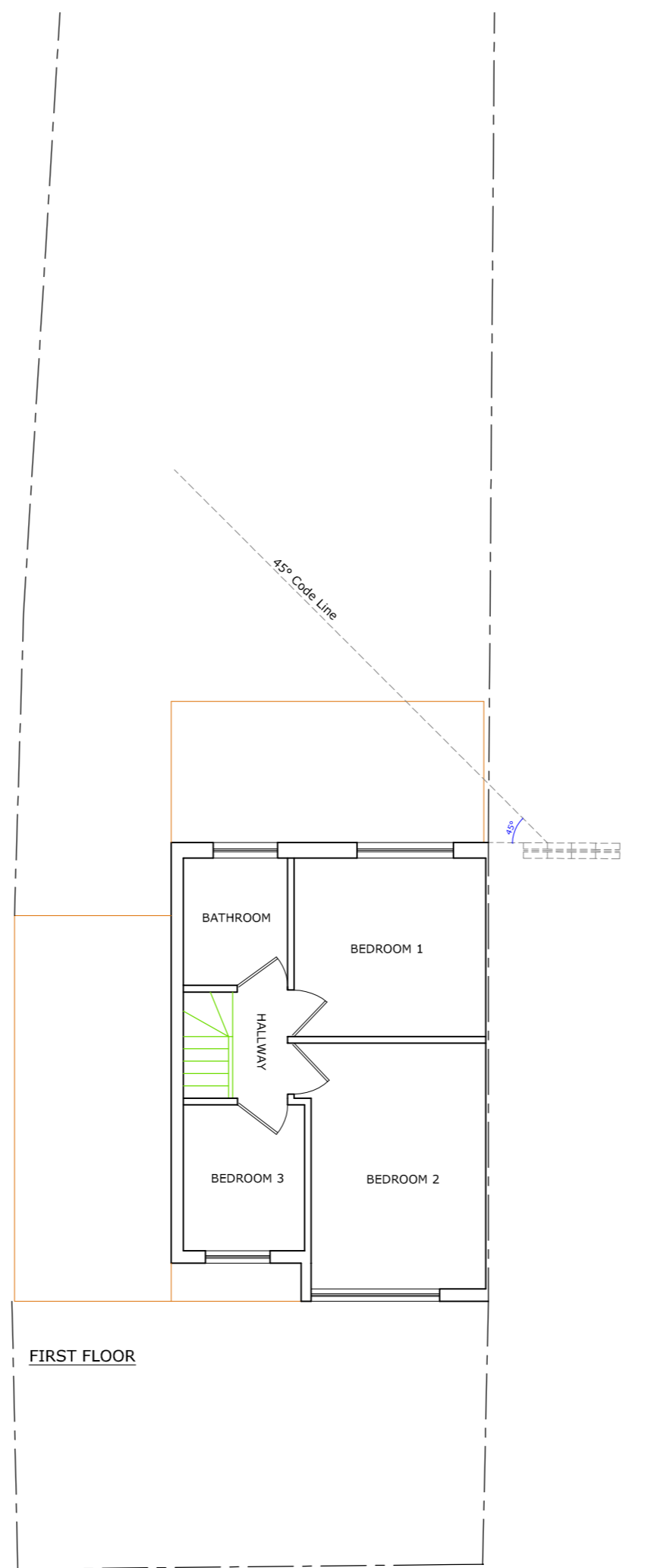
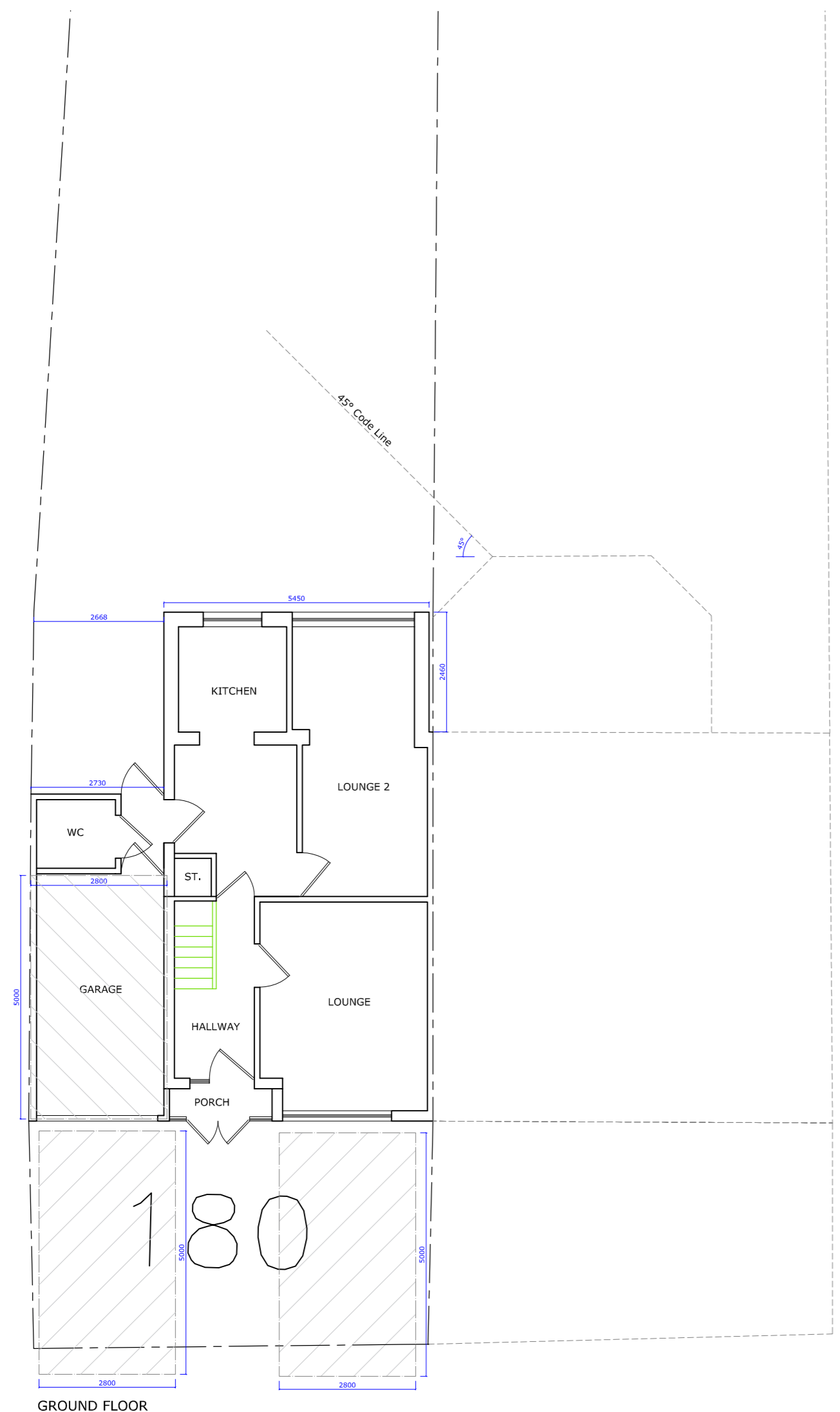
JOB:

180 Walsall Road, West Bromwich, B71 3LH

DRG TITLE:

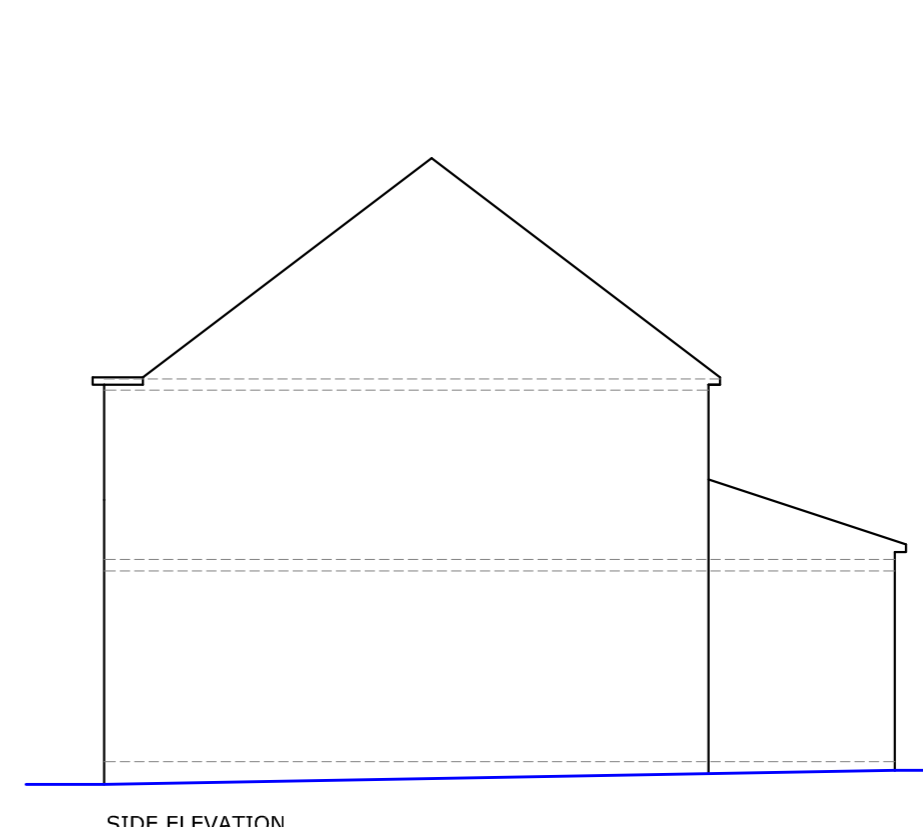
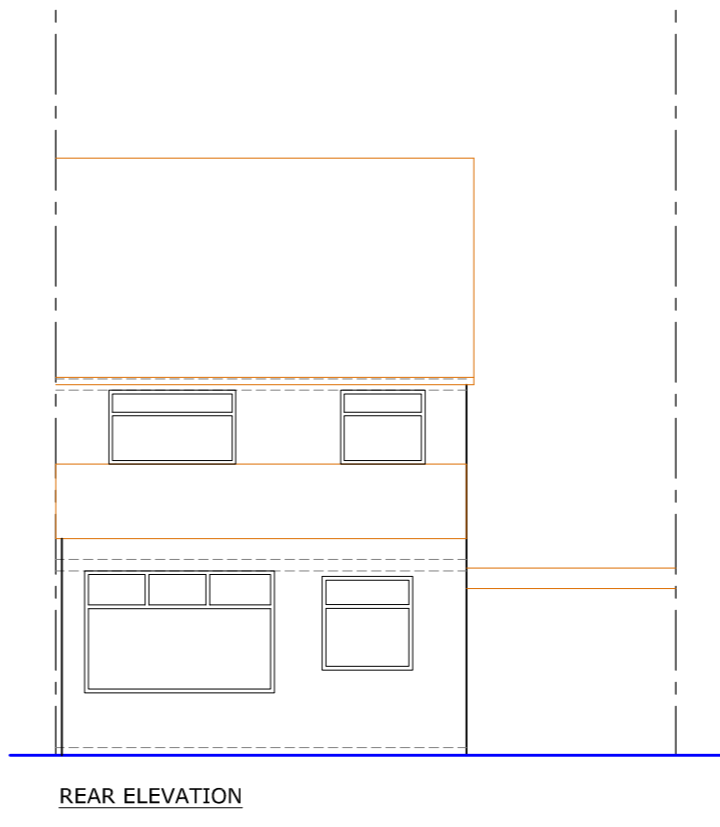
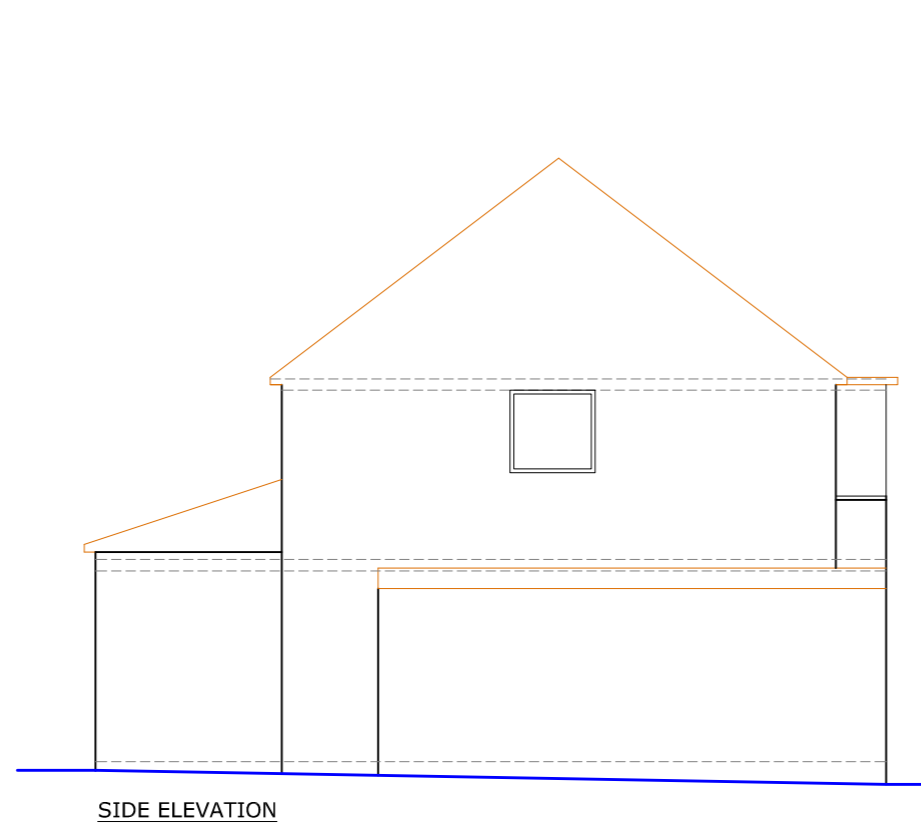
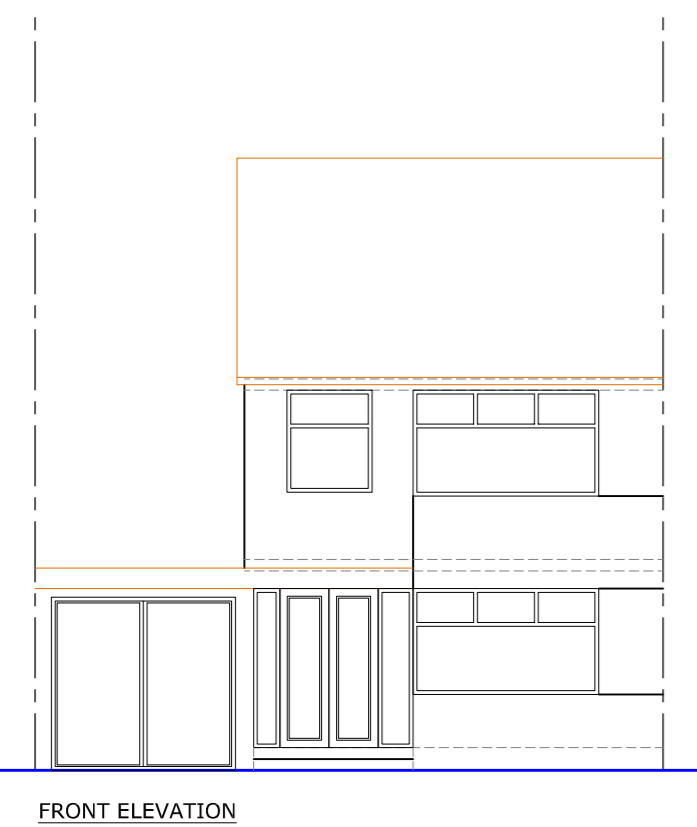
Location Plan - Existing

DRG NO.	REV.	Paper
2023-01/	01	A3
DATE: Jul 2023	SCALE: 1:1250	



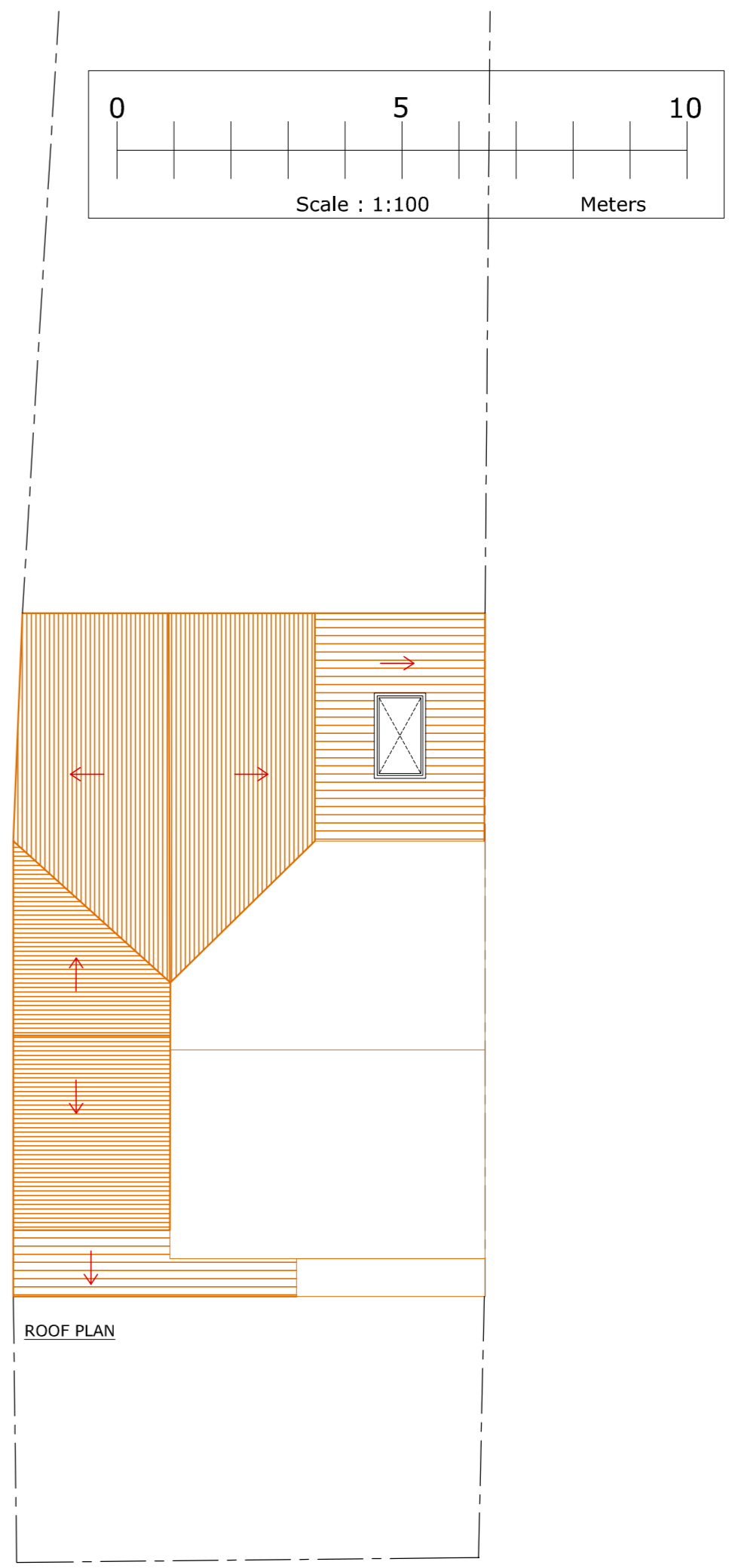
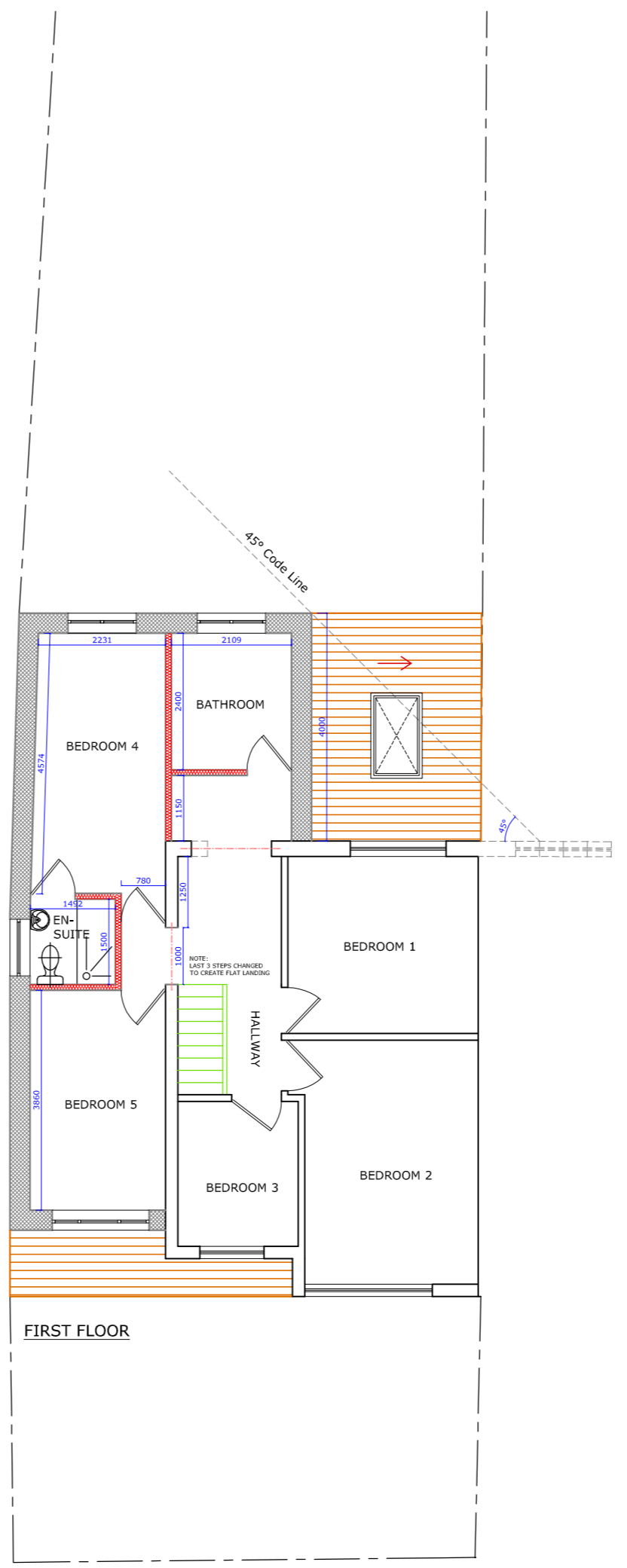
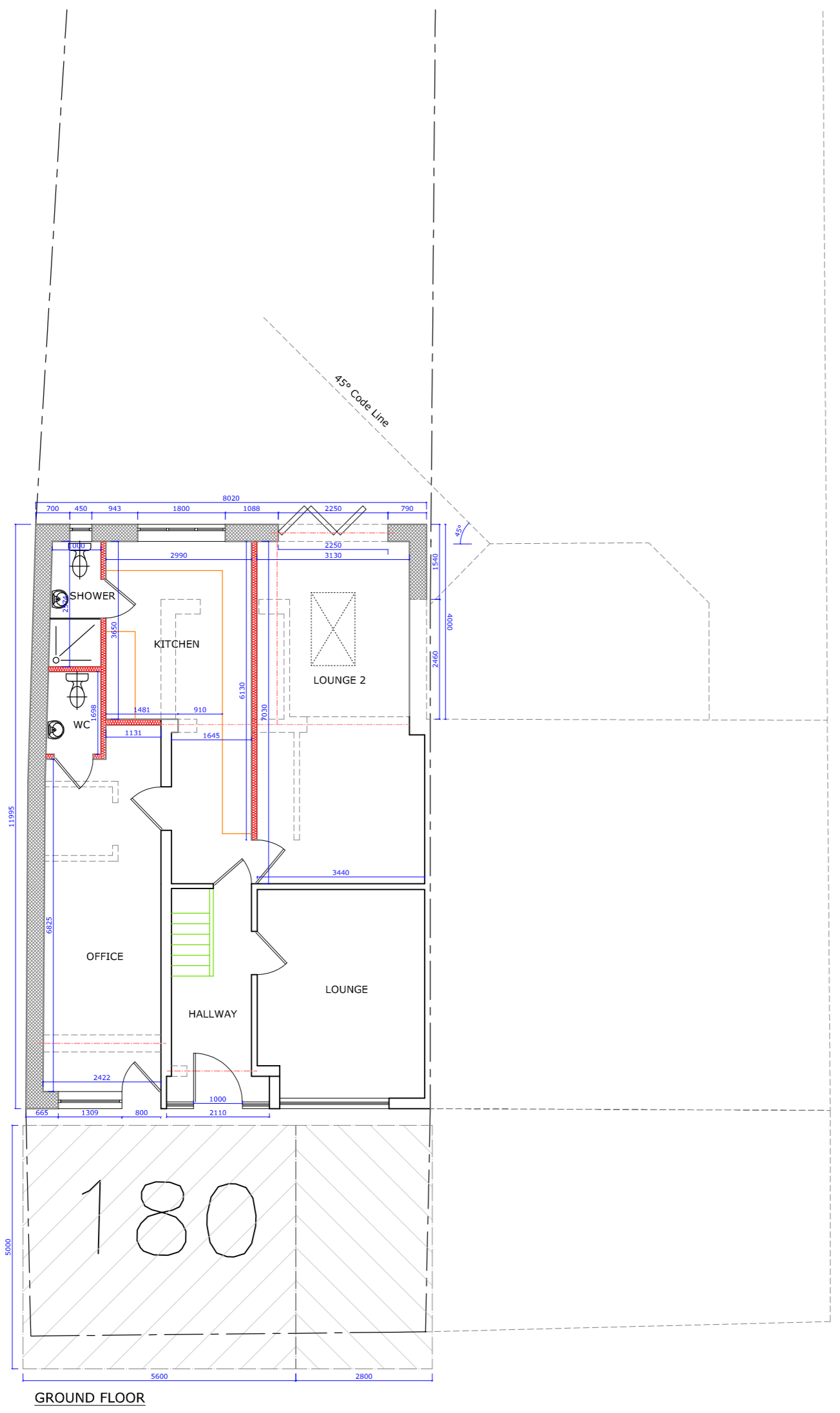
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REVISIONS
REV 2 -
ILLUSTRATING
CARS PARKED
AS PER
REQUIRED
MEASUREMENTS
TO EXISTING



CLIENT:
Mr Faryad Ahmed
JOB:
180 Walsall Road, West Bromwich, B71 3LH
DRG TITLE:
Existing Plans & Elevations

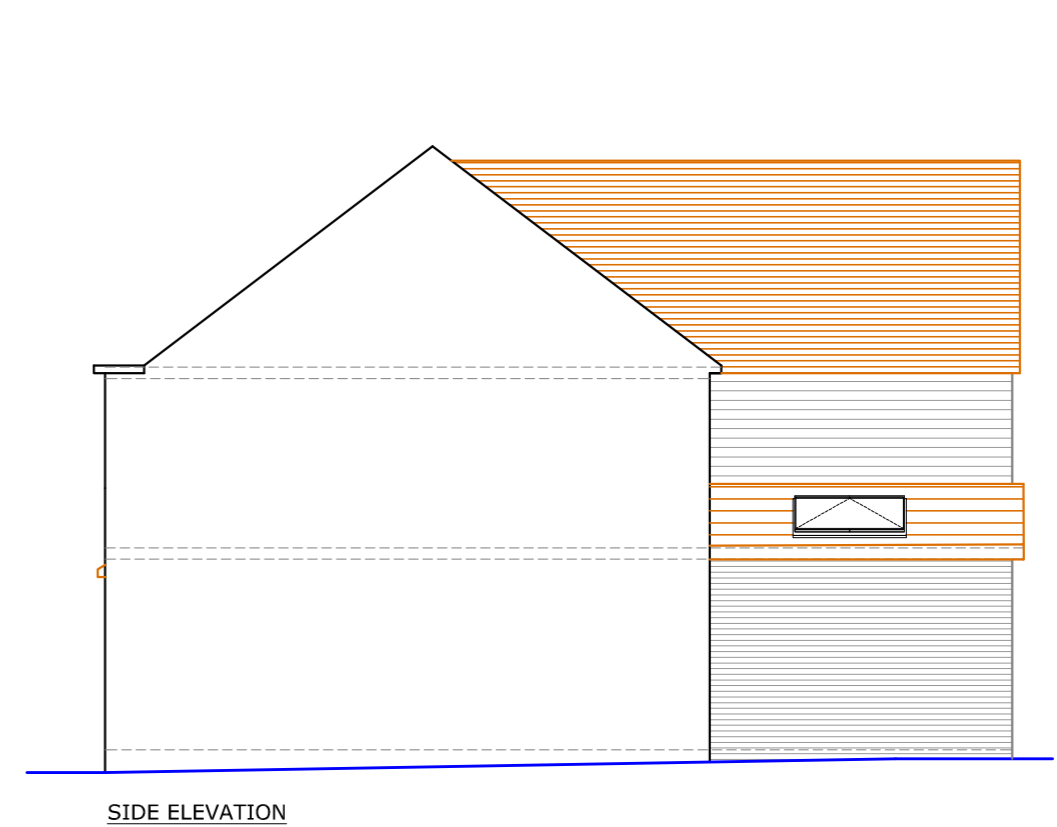
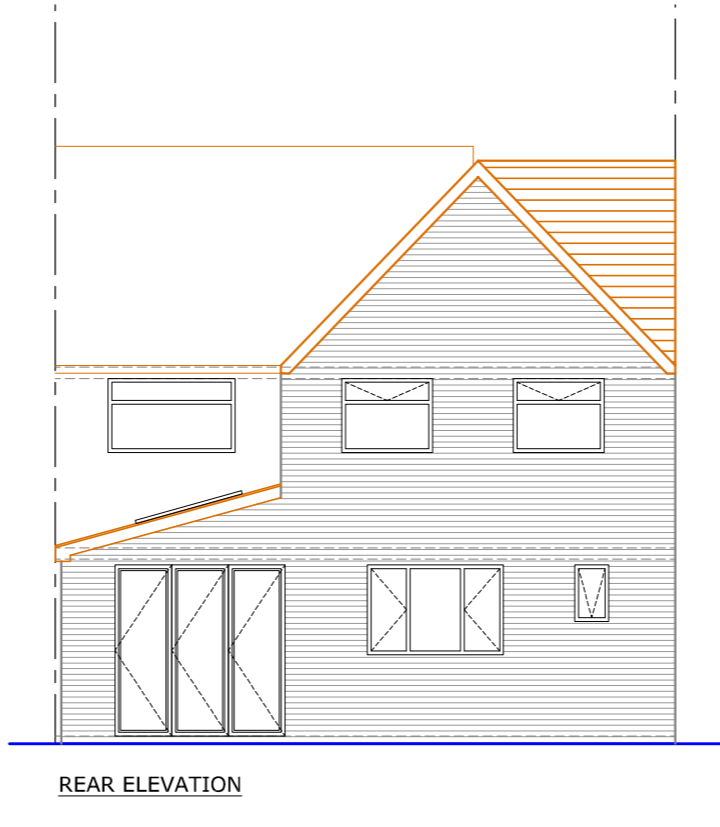
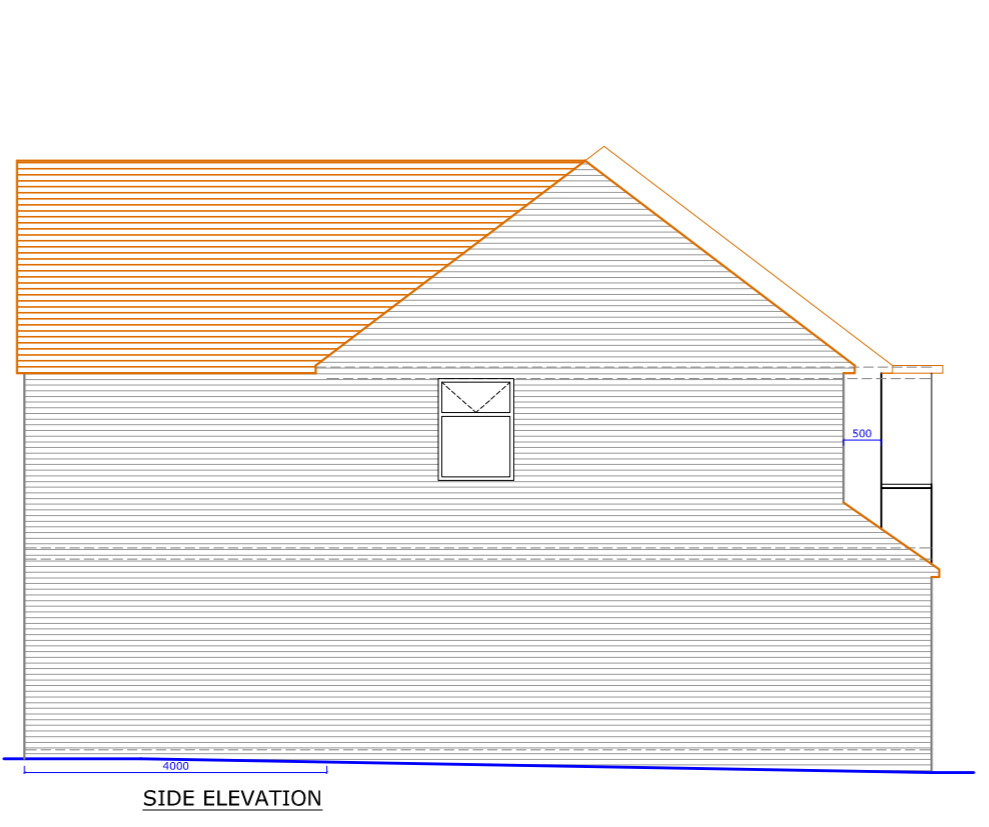
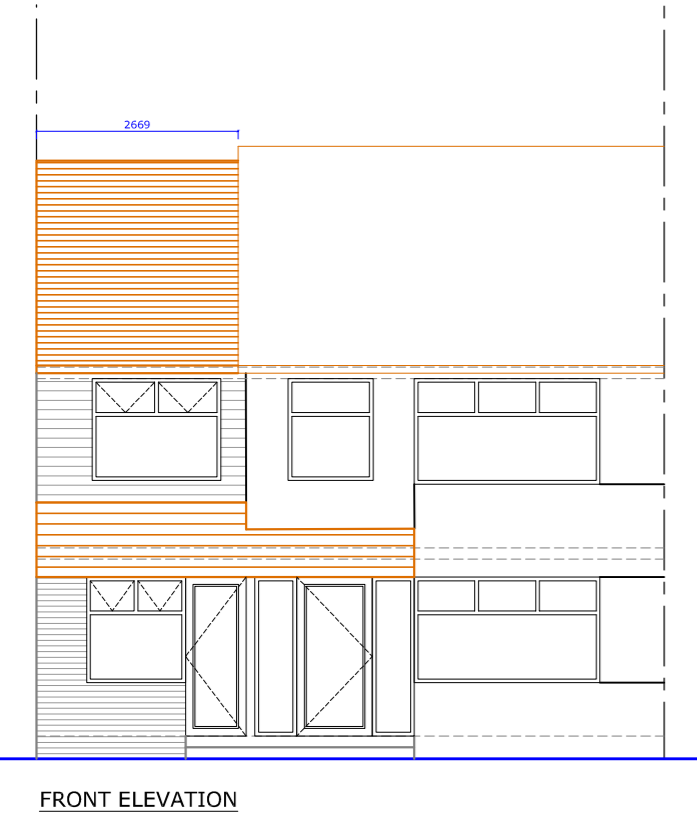
DRG NO.	REV.	Paper
2023-03/	02	A2
DATE: Aug' 2023 SCALE: 1:100		



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REVISIONS
REV 2 -
ILLUSTRATING
3 CARS
PARKED AS
PER REQUIRED
TO STANDARD
MEASUREMENTS

WINDOW
ADDED TO FF
SIDE
ELEVATION
BATHROOM



CLIENT:
Mr Faryad Ahmed

JOB:
180 Walsall Road, West Bromwich, B71 3LH

DRG TITLE:
Proposed Plans and Elevations

DRG NO.	REV.	Paper
2023-04/	02	A2
DATE: Aug' 2023 SCALE: 1:100		

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Report to Planning Committee

6 September 2023

Subject:	Planning Validation Checklist
Director:	Director of Regeneration and Growth Tony McGovern
Contact Officer:	Development Planning Manager Alison Bishop Alison_bishop@sandwell.gov.uk

1 Recommendations




- 1.1 That Planning Committee note the final comments to the Planning Validation Checklist.
- 1.2 That Planning Committee note the contents of the Planning Validation Checklist.
- 1.3 That approval is given to adopt of the revised Planning Validation Checklist with effect from 1st October 2023.

2 Reasons for Recommendations

- 2.1 The revised planning validation list has been updated to reflect current policy and legislative requirements for the required information that should accompany planning applications. This gives more certainty to applicants for the information they need to include as part of the submission and enables the local planning authority to make robust and properly informed decisions.



3 How does this deliver objectives of the Corporate Plan? (select relevant category and inc narrative how deliver)

	Strong resilient communities
	Quality homes in thriving neighbourhoods
	A strong and inclusive economy

4 Context and Key Issues

- 4.1 Planning applications are currently validated using the Black Country Validation Checklist (2012) and this document reflected National and local policy at this time.
- 4.2 The National Planning Policy Framework, paragraph 44 states that local planning authorities should publish a list of their information requirements for applications for planning permission and these should be to a minimum for making decisions and should be reviewed every two years. It states that local authorities should only request supporting information that is relevant, necessary and material to the application in question.
- 4.3 The current checklist given the time it was adopted does not reflect all current national policy and legislation that should be considered during the determination of planning applications. In addition, the current list is a complex document and the new checklist has been re-configured to include a more accessible section for Sandwell’s residents who wish to submit a ‘Householder’ planning application for a domestic extension and then separate guidance for commercial planning applications.
- 4.4 Consultation has taken place with relevant Council Services and other statutory consultees, i.e. Environment Agency, Birmingham and Black Country Wildlife Trust, Canals and River Trust along with all planning



agents/architects who have submitted planning applications to Sandwell within the last three years. The consultation period was also publicised on the Council's web page and took place between 27th February to 9th April 2023

Limited responses have been received following the expiration of the consultation period. To summarise, in the main, short of a few minor changes recommended by Statutory Consultees, the document was considered to be sound and in compliance with relevant policy and legislation.

Subject to the approval of planning committee, it would then be intention to adopt this revised Sandwell Planning Validation Checklist with effect from 1st October 2023.

5 Alternative Options

- 5.1 The current Black Country Validation Checklist could remain in place however, it is now over 10 years old and hence an updated list is required to comply with National Policy.



6 Implications

Resources:	Financial, staffing, land/building implications
Legal and Governance:	Legal implications including regulations/law under which proposals are required/permitted and constitutional provisions
Risk:	Risk implications, including any mitigating measures planned/taken, health and safety, insurance implications
Equality:	Implications for equality (all aspects and characteristics) including how meeting Equality Duty, equality impact assessments
Health and Wellbeing:	Implications of the proposals on health and wellbeing of our communities
Social Value	Implications for social value and how the proposals are meeting this (for e.g. employment of local traders, young people)
Climate Change	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

7. Appendices

Appendix 1 - Revised Sandwell's Planning Validation Checklist.

8. Background Papers

None.



Sandwell Metropolitan Borough Council

Validation Checklist for Planning Applications February 2023

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1.0 INTRODUCTION

This Application Validation Checklist has been produced in accordance with Planning Practice Guidance and paragraph 44 of the National Planning Policy Framework (NPPF) (2021). Paragraph 44 of the NPPF states that local planning authorities should publish a list of their information requirements for applications, which should be kept to the minimum needed to make decisions and should be reviewed at least every two years. Paragraph 44 states that local planning authorities should only request supporting information that is relevant, necessary and material to the application in question. Additionally, Planning Practice Guidance states that, in addition to being specified on an up-to-date local list published on the Local Planning Authority's website, information requested with a particular planning application must be:

- Reasonable, having regard, in particular, to the nature and scale of the proposed development; and
- Related to a matter which is reasonably regarded as a material consideration in the determination of the application.

If the information required by the checklist is not included with an application and is considered by the local planning authority to be reasonable and necessary in order to properly assess the application, the authority will declare the application invalid, and an opportunity will be given to provide this information in order to make the application valid. Applications which are validated are likely to contain sufficient information for a decision to be made and this should enable the Council to make a greater number of decisions within government timescales. However, there may be circumstances where a validated application will not contain all the information required for a decision to be made, and the Council may seek additional information post-validation under the existing statutory provisions set out within the Town and Country Planning (Application) Regulations 1998.

In circumstances where applicants do not agree with the Council's request for information or plans set out within this list, they may wish to challenge the decision not to validate an application. In such cases, applicants may have the right of appeal for non-validation under Section 78 of the Town and Country Planning Act 1990. The relevant grounds for the appeal would be non-determination within the 8 or 13-week determination period (depending upon whether the application is classed as major or minor development. The threshold for a major development is any application that involves mineral extraction, waste development, the provision of 10+ dwellings / a site area over 0.5 Hectares or a floorspace of over 1,000sqm / an area of 1 hectare. Anything smaller than this would be considered as minor development. Similarly, the right to complain to the Local Government Ombudsman on the grounds of maladministration also remains.

2.0 GUIDE TO THE CHECKLIST

This document has been developed to assist in the submission of planning applications within Sandwell Metropolitan Borough. The aim of this guide is to help

applicants submit the right information with an application to ensure the local planning authority (LPA) is able to deal with your application as quickly and comprehensively as possible.

Please note that **not all items within this guide will be relevant to every type of planning application** and you should pay particular attention to the third column, which specifies the application type. This checklist brings together existing information requirements that need to be submitted alongside a planning application and is not intended to impose additional requirements on applicants. We strongly encourage you to obtain pre-application advice from the LPA who will assist you in putting together your development proposals. Contact details can be found at the end of this document.

The guide has been structured to help you through the submission process as follows. For all applications, except householders, there are two sections split into mandatory and supporting information. **National and Local Mandatory information has to be submitted with an application for it to be validated** and the consultation and processing of the application to start. The document sets out mandatory local requirements, which includes some obligatory documents that are site specific. If an application meets the threshold for a mandatory local document, this documentation must be submitted at the time of application, otherwise the application will be invalid. If the documentation submitted with applications is subsequently found to be inadequate, additional information may be requested during the determination process. If this information is not submitted within the necessary timescale, the application may be delayed or refused on the grounds of inadequate information.

The supporting information will often be required to enable the LPA to make a fully informed decision on the merits of the application. This information would not result in an application being made invalid, but failure to provide sufficient supporting information, when requested and in a timely manner, may result in your application being refused on the grounds that insufficient information has been available to the LPA to make a sound judgement on the proposal. Section 3.0 of the document (page 8) provides an outline of the requirements for a householder application.

2.1 GUIDE TO MANDATORY DOCUMENTS

These comprise of both National and Local documents and in brief are set out below:

National Requirements:

- The application form
- Location plan
- Site Plan (also known as a block plan)
- An ownership certificate A, B, C or D must be completed stating the ownership of the property. **Please note that if during the planning process the ownership certificate is found to be inaccurate this may then invalidate your application.**
- Agricultural holdings certificate
- Design and access statement (if required)
- Correct application fee.

Local Requirements:

- Existing and Proposed Elevations
- Existing and Proposed Floor Plans
- Existing and Proposed Site Sections and Finished Floor and Site Levels (if required)
- Parking and Access Plan (if required)
- Flood risk assessment (if required)
- Sustainable Drainage Strategy (if required)
- Survey and impact assessment for protected and important species (if required)
- Habitat survey (if required)
- Coal Mining Risk Assessment (if required)
- Contaminated Land Site Investigation/ Statement (if required)
- Arboricultural report (Trees, Woodlands and Hedgerows) (if required)
- Affordable housing statement (if required)
- Draft Heads of Terms – s106 agreement (if required)
- Viability Assessment (if required)

2.2 GUIDE TO SUPPORTING DOCUMENTS

These documents will vary depending on the specific details of the application being proposed.

You are advised to seek pre-application advice from the LPA prior to submitting your application to establish the documents required to support your application. If you do not seek pre-application advice and the required information has not been submitted, your application may be refused on the basis of insufficient information being available at the time the decision is made.

The LPA is mindful of the advice contained in paragraph 39 of the National Planning Policy Framework (NPPF) requiring them to work proactively with applicants to secure developments that improve the economic, social and environmental conditions of the area. This proactive engagement is provided in part through pre-application procedures. Details of the pre-application advice service is available on the Council's website [here](#).

Where applicants wish to secure additional time for an application to be considered, they should contact the LPA to enquire about completing an extension of time agreement to enable the application to be determined in a managed timescale.

2.3 SCALE, PLAN SIZE AND LABELLING REQUIREMENTS

The following requirements apply to all forms, documents and plans submitted:

- Application forms, supporting documents and plans.
- Location plans must be 1:1250 or 1:2500 and include details of at least two named roads
- Site/ block plans should be drawn at a scale of 1:500 and should clearly show the proposed development in relation to site boundaries, existing structures buildings and roads on land adjoining the site, parking and access arrangements, positions and details of any trees which may be affected by the proposed development.
- Site Sections: Where there is a change in levels across a site, or between the application site and adjacent land, section plans through the buildings/ land shall be provided at a scale of 1:200 or 1:100 demonstrating existing and finished levels.
- All other plans must be drawn to an appropriate metric scale i.e. 1:50, 1:100, 1:200 or 1:500, please note:
- Plans should be A4 or A3 size wherever possible
- Plans must show the direction of North.
- Plans with the 'Do Not Scale' disclaimer or similar on them will not be accepted.
- **Scale bars MUST be provided on all plans OR at least two dimensions on each plan**
- All plans should be clearly labelled with a reference number (including amendments with updated revision numbers).
- All information must be clear enough so that the quality of detail is not compromised when scanned and viewed electronically e.g. faint lines are unacceptable.
- Retrospective applications must also provide detailed drawings which clearly show the work that retrospective consent is being applied for.
- It would be helpful if coloured three-dimensional imagery is provided for at least the main street elevation for major applications to help schemes to be shown in their context.
- Photographs of the existing site would also be helpful.
- **PLEASE NOTE: Due to General Data Protection Regulations please do not include personal details (Names, personal emails, addresses) on submitted drawings. If this information is included it will not be redacted.**

3.0 HOUSEHOLDER APPLICATION CHECKLIST:

The checklist below should be referred to when submitting a householder application. The National requirements should be followed for **ALL HOUSEHOLDER APPLICATIONS**. However, there may be instances when other information is required under section 4.

H1	National Requirement List (must be provided to be valid) – required by Part 3, Article 11 (7) of the Town and Country Planning (Development Management Procedure) Order 2015
H2	Scale, size and labelling requirements – refer to page 6 and 7 above
H3	Completed householder application form (guidance is provided on the planning portal website)
H4	Location Plan showing where the site is by outlining the site in red and any other land within the applicant's ownership in blue (scale of 1:1250 or 1:2500)
H5	Existing and Proposed Site Plan/Block (scale 1:500); Existing and Proposed Floor Plans & Elevations (normally to scale of 1:50 or 1:100).
H6	Streetscene drawn to a scale of 1:100 or 1:200: a streetscene drawing will be required where increases to roof heights on existing buildings are proposed.
H7	Sections details to a scale of 1:100 or 1:200: a section will be required where there is clear difference in existing levels or level changes are proposed.
H8	Completed Ownership/Agricultural Holdings Certificate to confirm who owns land affected by the proposal - guidance is available here
H9	The appropriate fee - guidance on fees is available here
H10	Levels survey information (e.g site sections) - Where an application site itself and its relationship with a neighbouring site is affected by a change in ground level of over 300mm, sections should be provided to demonstrate the extent of the change in levels, the effect that this has on how a development will appear and details, where necessary, of any retaining structures or mitigation proposed.
H11	Vehicle Parking Details of existing and proposed parking where additional bedrooms are being created. For more information on requirements, please refer to the Councils SPD Residential Design , Appendix 3 paragraph 4.9
H12	Heritage Statement This will be required for applications which effect Designated Heritage Assets which can be found via Sandwell's web site . For more information on the specific requirements of a Heritage Statement advice can be provided from the Council's Conservation Officer
H13	Sunlight path/45 degree code This will be required to demonstrate the impact on light and outlook to neighbouring properties.

4.0 ALL OTHER APPLICATIONS:

For each item on the local requirement list the following guidance is given:

- When the additional information or a statement on the topic is required,
- Guidance on what the information submitted should cover,
- The policy justification for requiring the information,

Please note that the guidance given is generalised and often the scope and standard of the information required will depend upon the individual site and the proposal. We would recommend using our pre- planning application service which will help to guide you on what details should be submitted with an application. Please also note that this list is not exhaustive and there may be sites or proposals where additional information made be needed before the planning application can be determined.

4.1 NATIONAL REQUIREMENTS

Number	Information Required	Type of Application This section sets out which types of applications require the information.	Guidance Items including the word ‘ must ’ in bold indicate statutory requirements. Items including the word ‘ should ’ indicate requirements that may help the determination of your application.
National Requirements – required by Part 3, Article 11 (7) of the Town and Country Planning (Development Management Procedure) Order 2015			
N1	Application Form	All applications	<p>V1 Application Form All applications. All sections and questions must be answered. Declaration must be signed and dated.</p> <p>Notes: For all types of development other than for housing (for example employment, retail or leisure development), information on non-residential floorspace must be provided in terms of gross internal floorspace.</p> <p>For retail development (class E), details of net floorspace (net tradable area) must also be provided. Floorspace definitions are set out in the definitions / glossary section.</p> <p>For applications involving the siting of mobile homes, including plots or pitches for gypsies, travellers or travelling show people, the description of the proposal must include the number of homes, plots or pitches.</p> <p>All proposals for waste management development (including proposals to expand, upgrade or relocate existing waste facilities) should be made using a detailed planning application form and section on ‘Industrial or Commercial Processes and Machinery’ must be completed in full.</p>

Number	Information Required	Type of Application This section sets out which types of applications require the information.	Guidance Items including the word 'must' in bold indicate statutory requirements. Items including the word 'should' indicate requirements that may help the determination of your application.
			All mineral development applications should be made using a detailed planning application form.
N2	Appropriate Fee paid in full	All applications	<p>The appropriate fee must be paid in full at the time of submitting your application.</p> <p>Note: If your planning application is submitted online via the Planning Portal you can pay either by telephone 0121 569 4054 or BACS transfer:</p> <p>Sort Code – 60-15-39 Account number - 69624178 Account name - Sandwell MBC</p> <p>Once payment has been made please email planning@sandwell.gov.uk with the date of payment, amount paid, application reference and payment reference. These details are required to ensure we can track your payment and enable us to process your application further.</p>
N3	Ownership Certificate	All applications Except for consent to display advertisements	<p>If the applicant is the sole owner of the site (and there are no long leases) then Certificate A must be completed.</p> <p>If the applicant is not the owner of the site (or only owns part) and the applicant knows who owns the site (or the other parts) then Certificate B must be completed (see V5 below).</p>

Number	Information Required	Type of Application This section sets out which types of applications require the information.	Guidance Items including the word 'must' in bold indicate statutory requirements. Items including the word 'should' indicate requirements that may help the determination of your application.
			Certificate C must be completed if there is more than one owner and the applicant knows some but not all the owners of the site (see N5 below).
N3 Continued	Ownership Certificate	All applications Except for consent to display advertisements	Certificate D must be completed if the applicant does not know any of the owner(s) of the site (see N5 below). Note: Long leaseholders (more than 7 years remaining) are treated as owners for these purposes. Advisory – It is the requirement of the applicant to make the appropriate declaration. Applications that are subsequently identified as having the incorrect certificate served may affect the validation of the application.
N4	Agricultural Holding Certificate	All applications Except for consent to display advertisements	Must delete those parts which are not appropriate. Must sign and date. Note: Part B relates to 21 days.
N5	Article 6 (applications other than householder) or Article 11	All applications where Ownership Certificates B, C or D have been completed	A notice must be served on all owners and / or published in the press in accordance with the instructions on the Certificate. A copy of the Article 6 or 11 notice must be included in the application submission.

Number	Information Required	Type of Application This section sets out which types of applications require the information.	Guidance Items including the word 'must' in bold indicate statutory requirements. Items including the word 'should' indicate requirements that may help the determination of your application.
	(householder applications)		Where certificates C or D have been completed, a copy of the article published in the newspaper must also be provided.
N6	Location Plan	All applications	<p>This is a plan that shows the location of the application site in relation to its surroundings. Details must be clearly and logically labelled, for example road names, and must show the direction North. Site boundaries must be edged clearly with a red line. A blue line should be drawn around any other land owned by the applicant, close to or adjoining the application site.</p> <p>The scale should be 1:1250 or 1:2500, but wherever possible the plan should be scaled to fit onto A4 or A3 size paper Where possible please show at least two named roads and surrounding buildings.</p>
N7	Block /Site Plan	All applications	<p>This is a plan at scale 1:500 or 1:200 that shows the existing and proposed layout of the application site, including the positions of any buildings.</p> <p>Details must be clearly and logically labelled, for example road and building names.</p> <p>Must show the site boundaries. Must show the type and height of any boundary treatment (e.g. walls, fences etc).</p>

Number	Information Required	Type of Application This section sets out which types of applications require the information.	Guidance Items including the word 'must' in bold indicate statutory requirements. Items including the word 'should' indicate requirements that may help the determination of your application.
			<p>Must show the position and height of any building or structure outside the site but within 10 metres of the boundary.</p> <p>Proposals must also be shown in context with adjacent buildings (including property numbers where applicable). Must show the direction North.</p>
N8	Design and Access Statement (DAS)	Requirements are set out in paragraph 031 of the National Planning Practice Guidance. N.B. Even where not required, applicants may consider submitting a DAS in order to fully demonstrate the appropriateness of the design and accessibility of the proposal.	<p>A DAS must be submitted for:</p> <p>Applications for major development, as defined in article 9 of the Town and Country Planning (Development Management Procedure (England) Order 2015 (As amended));</p> <p>Applications for development in a designated area, where the proposed development consists of:</p> <ul style="list-style-type: none"> • one or more dwellings; or • a building or buildings with a floor space of 100 square metres or more. • Applications for listed building consent. <p>Guidance on Design and Access Statements can be found at:</p> <p>https://www.gov.uk/guidance/making-an-application</p>

Number	Information Required	Type of Application This section sets out which types of applications require the information.	Guidance Items including the word 'must' in bold indicate statutory requirements. Items including the word 'should' indicate requirements that may help the determination of your application.
N9	Existing and Proposed Elevations	All applications proposing new buildings or alterations to the exterior of existing buildings.	<p>Must clearly show the proposed works in relation to what is already there, preferably by the use of colour, differentiating them from the existing building(s). Any blank elevations should also be included; if only to show that this is in fact the case.</p> <p>All elevations and plans must be clearly and logically labelled, for example front or rear elevation and given titles which refer to their content and include a plan number reference.</p> <p>Where any proposed elevation adjoins another building on the boundary, the drawings should clearly show the relationship between the buildings and detail the positions of the openings on each property.</p> <p>Where an existing building is being extended or altered, the whole of any existing elevation that is being extended or altered must be shown, not just part of it.</p>
N10	Existing and Proposed Floor Plans	All applications that propose new or amended floorspace and/or proposals to alter existing buildings.	<p>Details must be clearly and logically labelled, for example room names showing all internal divisions (rooms) within the building.</p> <p>Must show the proposal in detail including where existing buildings or walls are to be demolished - these should be clearly shown.</p> <p>The drawings submitted should show details of the existing building(s) as well as those of the proposed development, preferably by the use of colour, differentiating them from the existing building(s).</p>

Number	Information Required	Type of Application This section sets out which types of applications require the information.	Guidance Items including the word 'must' in bold indicate statutory requirements. Items including the word 'should' indicate requirements that may help the determination of your application.
N11	Existing and Proposed Site Sections and Finished Floor and Site Levels	All applications proposing changes to site levels or where existing levels across the site vary more than 0.3 metres.	<p>Plans must also show the proposals in relation to adjoining land and buildings. Should show a cross section(s) through the proposed site and/or building(s). A supplementary plan should be submitted clearly identifying on a site plan where each section is taken from.</p> <p>In all cases where a proposal involves a change in ground levels, drawings should be submitted to show both existing and finished levels to include details of foundations, retaining structures and how eaves relate to adjacent land and boundaries. Details should also be submitted explaining how any encroachment on adjacent land is to be avoided.</p> <p>Plans should show existing site levels and finished floor levels (preferably through the use of colour differentiating them from the existing levels) with levels related to a fixed datum point either off site but nearby, or at some point on the site which will not be affected by the works proposed.</p>
N12	Streetscene elevations	Sites proposing infill development and increased building heights (including new floors and increased roof heights).	A scaled elevation drawing showing how the proposed building/ alterations with sit alongside neighbouring buildings. Plans should be at a scale of 1:100 or 1:200, accurately show the height and outline of neighbouring buildings and position size of features (eg windows), accurately show any differences in levels.
N13	Fire safety	Buildings of 18 metres or more in height, or of seven or more storeys for residential purposes.	A fire safety statement must be provided setting out the fire safety considerations specific to the development. Guidance for fire safety requirement can be found at:

Number	Information Required	Type of Application This section sets out which types of applications require the information.	Guidance Items including the word 'must' in bold indicate statutory requirements. Items including the word 'should' indicate requirements that may help the determination of your application.
			https://www.gov.uk/guidance/fire-safety-and-high-rise-residential-buildings-from-1-august-2021

4.2 MANDATORY LOCAL REQUIREMENTS

No.	Details	Type of application	Guidance	Justification
M1	Community Infrastructure Levy (CIL) Planning Application – Additional Information Requirements Form and a completed Assumption of Liability Form (Form 1)	Planning applications that create new Retail or Residential floor space.	<p>The relevant forms are available at:</p> <p>https://www.planningportal.co.uk/info/200126/applications/70/community_infrastructure_levy</p> <p>Details of Sandwell’s CIL charging is available on the Council’s website at:</p> <p>https://www.planningportal.co.uk/info/200136/policy_and_legislation/70/community_infrastructure_levy/5</p> <p>If your application is CIL liable it is important that you ensure the requirements of CIL Regulations are met to ensure that you avoid any unnecessary surcharges and that any relevant relief or exemption is applied. Guidance can be found on the links above.</p>	<p>The Community Infrastructure Levy (CIL) is a levy that Local Authorities can choose to charge on new development. The money can be used to support development by funding infrastructure that the Council, local community and neighbourhoods want.</p>
M2	Noise impact assessment/ noise survey	<p>The following developments should include a noise impact assessment / noise mitigation scheme for the impact of noise on nearby residential uses:</p> <p>i) New residential development nearby to licensed premises,</p>	<p>The Noise Impact Assessment should outline the potential sources of noise generation, and how these may have a negative effect on local amenity. The assessment should also outline how the developer mitigates any adverse issues identified by the assessment.</p> <p>This should include with an assessment of commercial noise sources in accordance with BS4142:2014+A1:2019.</p> <p>Any recommendations to mitigate noise should be incorporated into the submitted plans for the application.</p>	<p>As required by paragraph 174 (e) of NPPF (2021) to ensure that new development prevents unacceptable risk from noise/air pollution.</p>

No.	Details	Type of application	Guidance	Justification
		<p>or adjacent to existing commercial premises.</p> <p>ii) new commercial development within Use Classes B2 or B8 adjacent to existing residential development</p> <p>iii) any application for an entertainment and licensed premise.</p> <p>iv) Other developments (including day nurseries, sports facilities, smoking areas, places of worship) can generate noise and may warrant a noise impact assessment / noise mitigation scheme, this will be determined on a site to site basis.</p>		
M3	Air Quality Impact Assessment and /	Developments within areas where air quality	The assessment should include consideration of potential increased exposure for relevant receptors affected by the	As required by paragraph 174 (e) of

No.	Details	Type of application	Guidance	Justification
	or mitigation measures	does not, or is unlikely to, meet air quality objectives (air quality hotspots). Detail criteria set out in Table 1 of the Black Country Air Quality SPD	<p>development. The assessment should take into account the individual and cumulative air quality impacts of existing and committed developments. Further information on what is required as part of the assessment is available in the Black Country Air Quality SPD.</p> <p>Mitigation measures are also provided in the Black Country Air Quality SPD</p>	<p>NPPF (2021) to ensure that new development prevents unacceptable risk from noise/air pollution.</p> <p>Policy ENV8 of the Black Country Core Strategy (2011), and the Black Country Air Quality SPD (2016).</p> <p>Sandwell Council has declared the borough as an Air Quality Management Area (AQMA).</p>
M4	Transport Assessment or Transport Statement and Travel Plans	<p>All applications likely to generate very significant traffic movements and/or large numbers of trips associated with developments in line with the thresholds set out in the guidance referred to in the adjacent guidance column.</p> <p>. If a Transport Assessment is not required, highways may</p>	<p>The Councils SPD 'The preparation of Transport Assessments and Travel Plan' Table 1 provides the criteria for types of planning proposals.</p> <p>Other parking standards can be found</p> <p>Applicants are advised to seek specialist expertise and to discuss their proposals with the Councils' Transportation Policy team and/or Highway Authority at an early stage in the design process. The Highway Authority will advise if contact should also be made with the National Highways, for example if proposals affect a Motorway or the Trunk Road network. You are advised to contact the planning@sandwell.gov.uk in the first instance or submit a pre-application enquiry.</p>	<p>As required by paragraph 113 of NPPF (2021) to assess the likely impacts of the proposal.</p> <p>As required by TRAN2 Managing the Impacts of New Development within the Black Country Core Strategy.</p>

No.	Details	Type of application	Guidance	Justification
		request a Transport Statement to identify trip rates and parking accumulation associated to the proposed. As a minimum a paragraph in the covering letter should provide an explanation.		
M5	Parking Plan	All applications where floorspace or changes of use will generate additional parking demands.	<p>The application must be accompanied by plan(s) showing the vehicle parking, cycle parking and access arrangements (existing and proposed). You may wish to include this information on other plans such as block plans.</p> <p>For more information on residential schemes, please refer to the Councils SPD Residential Design, Appendix 3 paragraph 4.9</p> <p>Other parking standards can be found in the Council's SPD 'The preparation of Transport Assessments and Travel Plan' Table 1</p> <p>Cycling provision can be found in the Council's SPG 'Cycling' section 5 which provides standards for cycling parking/provision</p>	As required by paragraph 110 – 112 of NPPF (2021) to ensure that modes of transportation/ movement can be accommodated within the development.
M6	Flood Risk Assessment	Flood Risk Assessment – required for planning applications where the site is 1 hectare or more in Flood zone 1 and	A Flood Risk Assessment (FRA) must demonstrate: whether any proposed development is likely to be affected by current or future flooding from any source flood authority;	As required by paragraph 167 of NPPF (2021) to reduce the risk of flooding.

No.	Details	Type of application	Guidance	Justification
		<p>required for all planning applications for new developments (excluding extensions at first floor or above) located in Flood Zones 2 and 3.</p> <p>All applications for development in the particular areas identified in the adjacent guidance column</p>	<p>Guidance can be found about requirements for FRAs via the planning portal which includes links to the Environment Agency</p>	<p>Policy ENV5 of the Black Country Core Strategy</p>
M7	Sustainable Drainage Details and Water Management Assessment	Sustainable Drainage systems are required for all major applications (10 or more dwellings, or 1000 square metres or more of new floorspace).	<p>All major planning applications must include details setting out how Sustainable Urban Drainage Systems (SuDS) are proposed to be incorporated in the scheme to alleviate sewer / flooding problems by preventing or minimising surface water entering the sewerage system and should clearly demonstrate that the scheme is consistent with the relevant planning policies. Details of the information required within a SuDS can be found here</p> <p>If this is not possible, justification will need to be submitted for why it would be impractical to do so.</p>	<p>As required by paragraph 167 of NPPF (2021) to reduce the risk of flooding.</p> <p>Policy ENV5 of the Black Country Core Strategy</p>
M8	Ecological survey and impact assessment for protected and important species	All planning applications with the potential to affect sites where protected or important species are present, or may be adversely affected, should be supported by	<p>A protected species is any species of animal or plant which receives legal protection through UK or European legislation.</p> <p>An important species is any species of animal or plant which is:</p> <p>The subject of a national or local Biodiversity Action Plan. Listed by the Government as a species of principal importance</p>	<p>As required by paragraphs 174-177 of the National Planning Policy Framework (2021) to protect and enhance biodiversity.</p>

No.	Details	Type of application	Guidance	Justification
		<p>survey work and an impact assessment to a nationally recognised standard.</p> <p>All planning applications on sites where protected or important species have been recorded, reported or can reasonably be expected to be present should be supported by survey work to properly demonstrate presence or absence.</p>	<p>for the conservation of biological diversity in England (see section 41 of the Natural Environment and Rural Communities Act 2006).</p> <p>Note for Applicants</p> <p>Ecological surveys must be carried out in very specific time periods, and developers should be aware of this in relation to the following items. Not doing a study at the appropriate time can be a major issue for the planning application.</p> <p>If an Ecological Assessment is not required, a statement or included in the covering letter should be provided with an explanation.</p> <p>Under the Environment Act 2021, all planning permissions granted in England (with a few exemptions) will have to deliver at least 10% biodiversity net gain, expected to be required from November 2023.</p>	<p>Policy ENV1 of the Black Country Core Strategy (2011) and Section 40 of the Natural Environment and Rural Communities Act 2006 places a duty on all public authorities in England and Wales to have regard, in the exercise of their functions, to the purpose of conserving biodiversity.</p> <p>Environment Act 2021</p>
M7	Habitat Survey	<p>All applications within or adjacent to a designated wildlife site (SINC (Site of Importance for Nature Conservation), SLINC (Site of Local Importance for Nature Conservation), LNR (Local Nature</p>	<p>Habitat surveys must be carried out by suitably qualified ecologists at specific time periods during the appropriate stage of the year. Not doing a study at the appropriate time can lead to delays or the refusal of the planning application.</p> <p>Clear information is required, which should be based on comprehensive, relevant and up to-date survey data, accurate assessments of impacts and practical measures to avoid</p>	<p>As required by paragraphs 174-177 of the National Planning Policy Framework (2021) to protect and enhance biodiversity.</p>

No.	Details	Type of application	Guidance	Justification
		Reserve), NNR (National Nature Reserve), SAC (Special Area of Conservation) or SSSI (Site of Special Scientific Interest), or likely to give rise to damaging impacts to any of these sites (householder applications adjacent to a designated site would not normally need to meet these requirements).	adverse impacts. Reference must be made to the national, regional or local contexts. Designated nature conservation sites are shown on the Sandwell's Site Allocation and Delivery Development Plan, Sandwell' Policies Map.	Policy ENV1 of the Black Country Core Strategy (2011), and Section 40 of the Natural Environment and Rural Communities Act 2006 places a duty on all public authorities in England and Wales to have regard, in the exercise of their functions, to the purpose of conserving biodiversity.
M8	Coal Mining Risk Assessment	All applications (excluding householder) which fall within the Coal Mining Development Referral Areas as defined by The Coal Authority and held by the Local Planning Authority.	The local planning authority has implemented the Coal Authority's "risk based" approach to planning applications, and specific "Development High Risk Areas" have been defined. In these areas coal mining features are recorded to be present at surface or shallow depth which may pose a risk to surface stability. A Coal Mining Risk Assessment, note this is not a Coal Mining Report, will be required to support all planning applications for development within these areas (except for householder and other exempt developments). This should be prepared by a suitably qualified and competent person (see NPPF and Coal Authority guidance on Risk Assessments for further information about this)	As required by paragraph 183 - 185 of the NPPF (2021), and as required by SAD DC6 of the Site Allocations and Delivery Plan Document (December 2012)

No.	Details	Type of application	Guidance	Justification
			Detail guidance on exemptions and Coal Mining Risk Assessments is available provided via this link above.	
M9	Contaminated Land Site Investigation / Statement	<p>All new development applications, except for:</p> <ul style="list-style-type: none"> a) Householder applications, and / or b) Changes of use or adaptation of existing buildings that do not involve any excavation, ground works or other operations which involve ground disturbance (except where gardens areas are provided). 	<p>The assessment should examine the likelihood of the presence of land contamination, its nature and potential risk to the proposed development, and what further measures are required to ensure the site is suitable for use. The minimum required is a report of a desk top study and site walk-over.</p> <p>Preliminary Risk Assessments should be conducted in accordance with guidance regarding land contamination risk management (LCRM)</p> <p>More information on which land uses may have caused contamination of the underlying soil can be found here:</p>	<p>As required by paragraph 183 – 185 of the NPPF (2021) requires prevention of new and existing development from contributing to, being put at unacceptable risk from or being adversely affected by unacceptable levels of soil, air, water or noise pollution or land instability.</p> <p>SAD DC6 of the Site Allocations and Delivery Plan Document (December 2012)</p>
M10	Affordable Housing Statement And a plan showing the location of	All applications for 10 or more dwellings.	<p>The statement must include details of property type, number of bedrooms, size, tenure, location and number of proposed affordable dwellings. The Black Country Core Strategy seeks 25% of housing on sites to be affordable.</p> <p>Further details are set out in BCCS Policy HOU3 and Sandwell's SPD Planning Obligations. Paragraph 64, 65 and</p>	As required by paragraph 64, 65 and 66 of the NPPF (2021) Sets out the affordable housing requirements which aims to provide affordable homes as

No.	Details	Type of application	Guidance	Justification
	affordable housing		<p>66 and Annex 2 (Glossary) of the NPPF (2021) sets out types of affordable provision.</p> <p>Note: You are encouraged to contact the Council for pre- application advice to confirm the tenure mix and size of units required on the site.</p> <p>Where an application proposes an affordable housing provision below the quantum required by policy the Affordable Housing Statement should make reference to the Viability Assessment also required. On sites where 25% affordable housing is not proposed, a financial viability assessment conforming to an agreed methodology will be required and, where necessary, will be independently appraised and considered by the local planning authority at the cost of the applicant (see M12 below).</p>	part of major developments.
M11	Section 106 Draft Heads of Terms Including Viability Assessment	Where a s106 obligation is required usually development over 10 dwellings or over 1,000 m ² floorspace.	<p>A draft Heads of Terms should accompany all planning applications above the thresholds set out in each LPA's suite of SPDs (usually developments over 10 dwellings or over 1,000 m² floorspace).</p> <p>The Head of Terms should include details of the obligation and contact (applicant, agent and solicitor) details to proceed with s106 instructions.</p> <p>Note You are encouraged to contact the LPA to obtain pre-application advice.</p>	As required by policies 64, 65 and 66 of the National Planning Policy Framework (2021) and the Sandwell Metropolitan Borough Council Planning Obligations SPD (2015).

No.	Details	Type of application	Guidance	Justification
M12	Viability Assessment	All applications for 10 or more residential units where the amount of affordable is not being provided because the scheme would not be viable.	<p>The assessment should include a full financial appraisal of the scheme detailing costs and income generated by the scheme, details of how the affordable housing will be delivered and the proposed tenure mix. The assessment should also link to the Affordable Housing Statement.</p> <p>Whilst the Council will make endeavours to assess the information submitted, there may be circumstances where viability assessments will be independently assessed by a third party, instructed by the Council and the cost of this will be covered by the applicant. The results of the independent assessment will inform Section 106 Negotiations.</p> <p>.</p>	As required by paragraph 58 of the NPPF (2021), which states that the applicant should demonstrate whether particular circumstances justify the need for a viability assessment at the application stage.
M13	Fume Extraction (Flue Equipment)	All applications including the cooking of food (on more than a domestic scale) and all applications for commercial and industrial activities that produce fumes, vapours, gases, odours, particulate matter, smoke, or use volatile chemicals	<p>Applications shall be submitted with the following information (where relevant):</p> <ul style="list-style-type: none"> • Elevations to show position, location and height (where external) of any required equipment. • Proposed external finishes and fixings. • Manufacturer's specifications including maintenance requirements. 	As required by paragraph 174 (e) of NPPF 2021 to ensure that new development prevents unacceptable risk from noise/air pollution.
M14	Sequential Approach Assessment for. Retailing, Leisure &/or Office Uses.	All applications for all Main Town Centre uses (defined in glossary section) that are not in an existing centre and are not in accordance with an	Main town centre uses should be located within the strategic, town, district or local centres (of an appropriate scale) wherever possible. See Sandwell's map for town centres and boundaries . In addition, other town centres in other borough should also be considered.	As required by paragraph 86 -91 of the National Planning Policy Framework (2021) which promotes a town centre first

No.	Details	Type of application	Guidance	Justification
	Sequential Approach continued	up- to date development plan, and that comprise: - any application to create additional floorspace. This requirement applies to extensions to retail and/or leisure uses where the gross floorspace of the proposed extension exceeds 200m2;	Proposals should demonstrate that the site is within a town centre. Where an edge of centre, or failing that, out of centre, site is proposed it should be demonstrated that no more central sites or buildings are or are likely to become available.	approach and CEN7 of the Black Country Core Strategy (2011),
M15	Environmental Impact Assessment (EIA) Screening Opinion	Major developments which are of more than local importance; Developments which are proposed for particularly environmentally sensitive or vulnerable locations; and Developments with unusually complex and potentially hazardous environmental effects	Developments that are likely to have significant environmental effects will require an Environmental Impact Assessments (EIA). Proposals that may require this need to be “screened” by the Council to determine whether an EIA is required, this process should be applied for prior to the submission of an application. The procedure for this is governed by the European EIA Directive and the Town and Country Planning (Environmental Impact Assessment) Regulations 2011 (SI 2011 No. 1824) (the EIA Regulations). Guidance on submitting an EIA screening opinion / scoping opinion is available here :	In accordance with Town and Country Planning (Environmental Impact Assessment) Regulations 2017.
M16	Heritage Statement and Archaeological Assessments	Heritage Statement: Will be required on any application (including those for Listed Building Consent) for development affecting a “Heritage Asset”, A	Heritage Statement: A Heritage Statement is an assessment of the significance of heritage assets and/or their settings affected by a development, and of the impacts of that development upon them. Where a proposal affects the significance of a heritage asset, including its setting, a Heritage Statement shall be	As required by paragraph 189 to 208 of NPPF (2021). Where the site forms part or effects a designated heritage

No.	Details	Type of application	Guidance	Justification
		<p>Heritage Asset is “a building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest.” The term “heritage asset” includes designated heritage assets and non-designated assets identified by the local planning authority (including local listing)”. This shall include Scheduled Ancient Monuments, Listed Buildings, Locally Listed Buildings, Conservation Areas, Areas of High Historic Townscape Value, Areas of High Historic Landscape Value, Areas of High Historic Designed Landscaped Areas, or, Registered Parks or Gardens.</p>	<p>provided. The Heritage Statement should be undertaken to an extent proportionate to the significance of the asset effected and should be prepared by an appropriate expert.</p> <p>The Statement should, as a minimum, refer to the Historic Environment Record (HER) in the first instance, and should assess the significance of the heritage assets affected, including any contribution made by the assets setting, and the impact that the proposal is likely to have on their significance. The Statement should also ensure that Section 16 “Conserving and enhancing the historic environment” of the National Planning Policy Framework is referred to, paying particular regard to paragraph 189- 208</p> <p>Applicants should consider the use of views analysis and photomontages to assist in understanding significance and how it may be affected, these may be included as part of heritage statements or landscape and visual statements.</p> <p>Where a proposal would involve demolition or significant structural alteration to a listed building, or major alterations to another heritage asset, which would lead to substantial harm to its significance or total loss of the asset, further evidence justifying the proposal will be required. This may include a Marketing Report and/ or a Structural Survey / Structural Appraisal Report. A guide to assessing significance is provided by Historic England.</p> <p>Details of heritage assets in Sandwell can be found here</p> <p>Archaeological Assessments:</p>	<p>asset the applicant should state the significance of any heritage asset(s) affected and the contribution to its setting.</p> <p>Where a site on which development is proposed is identified to be of archaeological significance local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.</p>

No.	Details	Type of application	Guidance	Justification
			<p>Applicants are advised to seek specialist expertise, check whether a site is included in the Historic Environment Record and discuss their proposals with the Council at an early stage in the design process.</p> <p>Applications for development that may affect archaeological remains should as a minimum include a Desk Based Assessment which shall refer to the Historic Environment Record (HER). Further guidance can be found through Historic England here.</p>	
M17	Arboricultural Report/ Trees Assessments	All applications where any trees preservation orders, or are within conservation areas and where mature and semi-mature trees are present	<p>A plan must be provided showing the location of all trees on site and within 8m of the proposed work (NB trees further away may be relevant, see below) together with a list of trees which are desired to be removed and a schedule of any pruning to retained trees.</p> <p>Conservation areas are provided here Tree Preservation Orders can be found here (need to set up)</p> <p>Additionally, where trees are protected by Tree Preservation Order or Conservation Area legislation a report in full accordance with BS5837 Trees in Relation to 'design, demolition and construction – Recommendations must be submitted.</p> <p>Proposals involving the loss of mature and semi- mature trees will normally be required to include replacement tree planting.</p> <p>Applicants are advised to seek specialist expertise and to discuss their proposals with the Council at an early stage in the design process. A brief statement detailing the</p>	As required by Part Viii of the Town and Country Planning Act 1990 (As amended) and Paragraph 131 of the NPPF (2021) which refers to the positive to character and quality of the urban environmental and adapt to climate change.

<u>No.</u>	<u>Details</u>	<u>Type of application</u>	<u>Guidance</u>	<u>Justification</u>
			outcomes of this advice should be provided as part of the planning application submission.	

4.3 SUPPORTING DOCUMENTS (NON-MANDATORY)

Supporting Documents				
Number	Information Required	Type of Application	Guidance	Justification
S1	Urban Open Space Statement.	Applications that propose loss of existing open space, sports and recreational buildings and land including playing fields and all applications for more than 10 dwellings.	<p>Development that proposes loss of existing open space, sports and recreational buildings and land (including playing fields) must submit a statement setting out:</p> <ul style="list-style-type: none"> • Whether an assessment has been undertaken to show the open space, buildings or land to be surplus to requirements (copy of assessment to be submitted); or • That the loss resulting from the proposed development would be replaced by equivalent or better provision in terms of quantity and quality in a suitable location; or • That the development is for alternative sports and recreational provision, the needs for which clearly outweigh the loss. <p>Where open space facilities are proposed to be provided on-site or in-kind you must define them in the application and provide a statement to</p>	In accordance with National Planning Policy Framework (2021) paragraph 99 and policy ENV6 of the Black Country Core Strategy (2011).

Supporting Documents				
Number	Information Required	Type of Application	Guidance	Justification
			<p>accompany the planning application setting out how it will meet the requirements of policy ENV6 of the BCCS.</p> <p>Note: Where open space facilities cannot be provided entirely on-site or can only be provided onsite in part, you will be expected to make a financial contribution through a Planning Obligation for off-site provision or improvements. You are encouraged to contact the Council for pre-application advice.</p>	
S2	Planning Statement	All major applications (10 or more dwellings or 1,000 m2 or more of new floorspace) including change of use applications, extensions and mezzanine floors, except for waste management and mineral development applications (see V33 and V34 below for details of general supporting statements to be submitted with these types of application)	<p>The statement must include general description of the application site and the proposed development, and a summary of how the proposal accords with relevant national and local planning policies, including policies governing the sustainable use and consumption of resources. The statement should cover the following issues:</p> <ul style="list-style-type: none"> • A general description of the application site 	

Supporting Documents				
Number	Information Required	Type of Application	Guidance	Justification
			<ul style="list-style-type: none"> • A general description of the development • A brief statement demonstrating that the proposal is a sustainable development as defined in current planning policy • A brief statement demonstrating that the proposal is either consistent with development plan land use policy, or a departure that is justified (with reasons set out) • An Energy Statement summarising how the proposal addresses the need for energy efficiency and to increase use of renewable/ low carbon energy • A Waste and Resource Management Statement summarising how the proposal addresses the need for resource efficiency and sustainable waste management • A Water Conservation Statement summarising how the proposal addresses the need to minimise water consumption and use water more efficiently 	

Supporting Documents				
Number	Information Required	Type of Application	Guidance	Justification
			<ul style="list-style-type: none"> • Energy, Water Conservation and Waste Management Statements may be provided as separate documents or incorporated into other supporting documents if preferred. Where this has been done, there is no need to duplicate the information in the general supporting statement; a cross reference will be sufficient. • This can include a copy of the interim site waste management plan (SWMP) where one has been prepared. 	
S3	Noise and Vibration Assessment	All major industrial or commercial applications. All major applications that introduce or expose noise and/or vibration-sensitive development(s) into areas and locations where noise and/or vibration is likely to have an adverse impact.	<p>Guidance, procedures, recommendations and information to assist in the completion of a suitable noise and/or vibration survey and assessment may be found in the policies and guidance below. Additional technical information in support of proposed noise surveys will be available from the Environmental Protection Team.</p> <p>Vibration surveys in particular shall be conducted having regard to the advice,</p>	

Supporting Documents				
Number	Information Required	Type of Application	Guidance	Justification
			<p>recommendations or requirements contained in:</p> <p>British Standards BS 6472: 2008 'Guide to Evaluation of human exposure to vibration in buildings: -</p> <ul style="list-style-type: none"> • Part 1: Vibration sources other than blasting, • Part 2: Blast-induced vibration; <p>and</p> <p>BS 7385-2: 1993 Evaluation and measurement for vibration in buildings: -</p> <ul style="list-style-type: none"> • Part 1: Guide for measurement of vibrations and evaluation of their effects on buildings • Part 2 'Guide to damage levels from ground-borne vibration'. 	
S4	Impact Assessment - Development affecting Waste Management Facilities	<p>Development proposals which would result in the loss of a waste management facility to a non-waste management use.</p> <p>Development proposals for housing or other sensitive uses which are near or adjacent to an existing waste management site or proposal.</p>	<p>Impact Assessments will be required with the following applications:</p> <p>a) Proposals involving the loss of a Strategic Waste Management Site - the impact assessment should set out (where applicable):</p>	In accordance with Black Country Core Strategy (2011).

Supporting Documents				
Number	Information Required	Type of Application	Guidance	Justification
			<ul style="list-style-type: none"> i) How much waste management capacity would be lost as a result of the proposal; ii) The impact on the Black Country's waste management capacity; and iii) Justification for any loss of capacity. <p>b) Proposals for housing or other sensitive use near or adjacent to a Strategic Waste Management Site – the impact assessment should demonstrate that the proposal and the waste management facility would be compatible. This information will need to address any potential amenity effects that may arise from locating the proposal near / adjacent to an existing or proposed waste management facility.</p> <p>Strategic waste management facilities/sites are also now shown on</p>	

Supporting Documents				
Number	Information Required	Type of Application	Guidance	Justification
			the adopted 2017 Dudley Borough Development Strategy's Policies Map.	
S5	Waste Management Development Proposals	All applications for Waste Management Development, including applications for new waste management infrastructure and applications for the expansion, upgrading or relocation of existing waste management infrastructure	<p>Waste management developments are proposals for waste management infrastructure such as the preparation of waste for re-use, material recovery from waste, recycling and composting of waste into new products, energy recovery from waste, waste treatment, transfer and storage of waste, and disposal of waste to landfill.</p> <p>All proposals for waste management development (including proposals to expand, upgrade or relocate existing waste facilities) should be accompanied by a Planning Statement providing:</p> <ul style="list-style-type: none"> • A general description of the application site • A general description of the development • The key "facts and figures" • A brief statement demonstrating that the proposal is a sustainable development as defined in current planning policy 	

Supporting Documents				
Number	Information Required	Type of Application	Guidance	Justification
			<ul style="list-style-type: none"> A brief statement demonstrating that the proposal is either consistent with development plan land use policy, or a departure that is justified (with reasons set out) <p>Some of the information required in the statement may also be partly covered by Sections of the Application Form and related plans and drawings, and further details may be provided in other supporting statements – where this is the case it is helpful to provide cross- references. Where any of the above information is not applicable or not yet decided, the statement should explain this.</p> <p>*This should demonstrate that the requirements of the most recent Waste Regulations have been addressed, for example, that;</p> <ul style="list-style-type: none"> The “waste hierarchy” has been applied when considering the waste management options available; 	

Supporting Documents				
Number	Information Required	Type of Application	Guidance	Justification
			<ul style="list-style-type: none"> The waste management methods proposed will not be harmful to human health or the environment; The proposal will contribute towards the establishment of an “integrated and adequate” network of waste disposal and mixed municipal waste recovery installations (where applicable); and The proposal addresses the principles of proximity and self-sufficiency. <p>Where the proposal involves disposal of waste to landfill or the management of mining waste, it must be shown to comply with Annex 1 of the Landfill Directive and Articles 7 and 11 of the Mining Waste Directive, because the Council may not grant permission unless it is satisfied that this is the case (regulation 20).</p>	
S6	Education and Health Facilities Statement	Proposals involving the loss of a health or education facility.	A statement is needed to justify the loss of the facility. It will need to include an assessment of the availability of adequate alternative provision to meet the needs of the community served by the facility, and a description of any	In accordance with HOU5 of the Black Country Core Strategy (2011).

Supporting Documents				
Number	Information Required	Type of Application	Guidance	Justification
			<p>replacement provision. Can be included within DAS or Planning Statement etc.</p> <p>Health or education facilities include nurseries, primary schools, secondary schools, colleges, universities, hospitals and GP surgeries.</p>	
S7	Impact Assessment Non-Mineral Development affecting Mineral Resources, Mineral, Working Areas, and Mineral- Related Infrastructure	<p>Non-mineral development proposals affecting the following:</p> <ul style="list-style-type: none"> Proposals within the Black Country Mineral Safeguarding Area (MSA): Proposals on sites or areas of 0.5ha and over in the Green Belt; Proposals on sites or areas of 5ha and over in the urban areas (outside the Green Belt). Proposals within or adjacent to Areas of Search MA3 and MA4 or existing quarries Proposals on mineral- related infrastructure Sites. Developments for conversions or changes of 	<p>All non-mineral development proposals of the types specified should include an Impact Assessment setting out how the proposal affects mineral resources, mineral working areas and mineral related infrastructure. It should explain the following (where relevant):</p> <ul style="list-style-type: none"> The relationship of the site to mineral resources and mineral operations; The underlying geology and mineral resources likely to be present; The status of mineral operations near to, adjacent to, or on the site. <p>The Impact Assessment may be provided as a section in a general supporting statement such as the Design and Access Statement, Planning Policy Statement or</p>	In accordance with Policy MIN1 of the Black Country Core Strategy (2011)

Supporting Documents				
Number	Information Required	Type of Application	Guidance	Justification
		use which do not involve any new building or excavation work are excluded from this requirement.	Sustainability Statement. For detailed and “hybrid” (part outline, part detailed) applications part of the application form can also provide some of the information required about the status of the site. The Impact Assessment should include the following additional information for each of the types of application specified. Non-mineral developments within the Mineral Safeguarding Area (MSA) falling within the policy thresholds – the Impact Assessment should include details of a prior extraction scheme to remove minerals prior to development, or justification for no prior extraction scheme (see BCCS Policy MIN1 for details of potential justification for no prior extraction scheme). Further supporting evidence on the extent or quality of the mineral resource and geotechnical issues may be provided by site investigation reports, coal mining risk assessments and other geotechnical reports prepared for the site. Where any of the above information is not applicable or not yet	

Supporting Documents				
Number	Information Required	Type of Application	Guidance	Justification
			<p>available, the Impact Assessment should explain this.</p> <p>Non-mineral developments within or adjacent to an Area of Search or existing quarry – the impact assessment should demonstrate that the development will not result in sterilisation of mineral resources and will not compromise existing/ potential future mineral working within the area.</p> <p>Non-mineral developments on a mineral-related infrastructure site – the impact assessment should demonstrate that the site has no realistic potential for the development of mineral related infrastructure or no longer meets the needs of the minerals industry.</p> <p>Development Strategy's Policies Map. Mineral Related Infrastructure Sites are also listed in Appendix 7 of the BCCS.</p>	
S8	Proposed Landscape Scheme	All detailed applications (excluding shop fronts, advertisements, changes of use	Development proposals (except those where there is no open land visible from a public place, unless affecting a	Policy ENV2, ENV3 and ENV4 of the

Supporting Documents				
Number	Information Required	Type of Application	Guidance	Justification
		and householder applications) meeting the criteria set out in the adjacent guidance column.	<p>heritage asset) meeting any of the following criteria will be required to be supported by full details of external layout and landscape proposals which must be fully integrated with proposals for ecological enhancement: -</p> <ul style="list-style-type: none"> • Within or adjacent to transport corridors, including canals, railways, motorways and major roads. • Water frontages where there is public access. • Affecting the setting of a Listed Building, Building, • Structure or Feature on the “Local List,” or a • Registered Parks or Garden. • Within or adjacent to Local Nature Reserves, Sites of Special Scientific Interest, Sites of Importance for Nature Conservation, parks, cemeteries or public open spaces. • Major applications - 10 or more dwellings or new floorspace of 1000 square metres or more. 	Black Country Core Strategy

Report to the Planning Committee

6 September 2023

Subject:	Decisions of the Planning Inspectorate
Director:	Director – Regeneration and Growth Tony McGovern
Contact Officer:	John Baker Service Manager - Development Planning and Building Consultancy John_baker@sandwell.gov.uk Alison Bishop Development Planning Manager Alison_bishop@sandwell.gov.uk







1 Recommendations

- 1.1 That Planning Committee notes the decisions of the Planning Inspectorate as detailed in the attached appendices.

2 Reasons for Recommendations

- 2.1 This report is submitted to inform the Committee of the outcomes of appeals that have been made to the Planning Inspectorate by applicants who were unhappy with the Committee's decision on their application.

3 How does this deliver objectives of the Corporate Plan?

		We now have many new homes to meet a full range of housing needs in attractive neighbourhoods and close to key transport routes.
		Our distinctive towns and neighbourhoods are successful centres of community life, leisure and entertainment where people increasingly choose to bring up their families.
		Sandwell now has a national reputation for getting things done, where all local partners are focused on what really matters in people's lives and communities.

4 Context and Key Issues

- 4.1 Applicants who disagree with the local authority's decision on their planning application may submit an appeal to the Planning Inspectorate. An appeal may also be made where the local authority has failed to determine the application within the statutory timeframe.
- 4.2 Appeals must be submitted within 3 months (householder proposals) six months (commercial developments) of the date of the local authority's decision notice.
- 4.3 Decisions on the following appeals are reported, with further detailed set out in the attached decision notice:-

Application Ref	Site Address	Inspectorate
DC/22/67287	50 Gorsty Hill Rowley Regis B65 0HA	Dismissed
DC/23/68038	32 Kenilworth Road Oldbury B68 0ND	Dismissed

5 Alternative Options

5.1 There are no alternative options.

6 Implications

Resources:	There are no direct implications in terms of the Council's strategic resources. If the Planning Inspectorate overturns the Committee's decision and grants consent, the Council may be required to pay the costs of such an appeal, for which there is no designated budget.
Legal and Governance:	The Planning Committee has delegated powers to determine planning applications within current Council policy. Section 78 of the Town and Country Planning Act 1990 gives applicants a right to appeal when they disagree with the local authority's decision on their application, or where the local authority has failed to determine the application within the statutory timeframe
Risk:	There are no risks associated with this report.
Equality:	There are no equality implications associated with this report.
Health and Wellbeing:	There are no health and wellbeing implications associated with this report.
Social Value	There are no implications linked to social value with this report.
Climate Change	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

7. Appendices

APP/G4620/W/22/3313874

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APP/G4620/D/23/3324076



Appeal Decision

Site visit made on 13 June 2023

by Samuel Watson BA (Hons) MSc MRTPI

an Inspector appointed by the Secretary of State

Decision date: 21 July 2023

Appeal Ref: APP/G4620/W/22/3313874

50 Gorsty Hill Road, Sandwell, Rowley Regis B65 0HA

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Mr R Azhakesan against the decision of Sandwell Metropolitan Borough Council.
 - The application Ref DC/22/67287, dated 15 July 2022, was refused by notice dated 9 September 2022.
 - The development proposed is for alterations to form 2 additional bedrooms to existing 6 bedroom, 6 person HMO (House of Multiple Occupation) to form 8 bedroom, 8 person HMO.
-

Decision

1. The appeal is dismissed.

Main Issues

2. The main issues are:
 - the effect of the proposal on the living conditions of neighbouring occupiers;
 - Whether the proposal would provide a suitable standard of living conditions for future occupiers; and,
 - The effect of the proposal on highway safety.

Reasons

Living Conditions

3. The host property is a deep terraced building which is roughly L-shaped on the ground floor. The existing ground floor contains a long lounge-kitchen room which extends from the front of the property towards the rear. It is served by a bay window to the front and, what appears to be, a rooflight to the rear. The property is currently used as a HMO for six people. The proposal includes the creation of a new bedroom (bedroom 8) to replace the lounge area.
4. The existing kitchen is a distance away from the bay window where any meaningful outlook could be achieved, the area between the lounge and kitchen would also be far from any sources of natural light. Nevertheless, as they are part of one long room, the impact of the poor outlook from, and natural light to, particular areas is reduced.
5. The resultant communal area would only be served by one rooflight. As such there would be no outlook from the kitchen or lounge and natural light would only benefit the far end of the kitchen. Future occupiers would be reliant on artificial lighting throughout the day when using the majority of this communal

- space. Moreover, this space would be enclosed and confined as a result of the lack of outlook. Cumulatively the communal space would provide a poor area for future occupiers to socialise, relax, cook or eat. Therefore, I find that the proposal would provide a poor quality of living conditions for future occupiers.
6. While I note that the proposed bedrooms would all be served by a good level of outlook and light, this does not negate the poor quality of the communal accommodation.
 7. The proposal would result in an increase of 2 occupiers at the appeal site, this would not be a significant increase relative to the existing number of occupiers. Given the nature of the property, it is likely that noise related to socialising, watching TV and listening to music is already generated both in communal spaces and the bedrooms. The noise from two additional occupiers would not, therefore, be a significant addition to that generated at, or around, the site and I find that the cumulative level of noise would not be unacceptable.
 8. As part of this I am mindful that the nature of the noise generated at the site would be domestic, and therefore typical of a residential area. Moreover, as the additional bedrooms would be downstairs, they would be less likely to affect the bedrooms of neighbouring properties, which are typically upstairs.
 9. Whilst there would be no harm to the living conditions of neighbouring occupiers, the proposal would not provide a suitable standard of living conditions for future occupiers. The proposal would therefore conflict with Policies CSP4 and HOU2 of the Black Country Core Strategy which, amongst other matters, require that developments are of a high quality that minimise amenity impacts. It would also conflict with Paragraph 130 of the National Planning Policy Framework (the Framework) which requires that developments create places that promote well-being and a high standard of amenity for existing and future users.

Highway Safety

10. The appeal site is located on Gorsty Hill Road, a narrow but busy thoroughfare. It is close to a number of junctions with surrounding roads, including Station Road, Lodgefield Road and Coombs Road. During my site visit I noted on-street parking restrictions in a number of locations near the appeal site, including on the opposite side of Gorsty Hill Road. The appeal site does not have any off-street parking provision and the proposal would not provide any as part of the scheme.
11. The appellant has submitted a Parking Stress Survey which carried out two assessments overnight, when I consider most residents are likely to be home. This found that the roads surrounding the appeal site had available and useable parking spaces. Whilst I noted a significant number of vehicles parked on the roads surrounding the appeal site, at the time of my visit, it was clear that there were still spaces available.
12. As noted above, the host property is currently used as an HMO for up to 6 occupiers. The proposal would increase the number of occupiers to 8 and with this there would be an increase in the need for on-street parking. Although the Council have not referred to any policies or guidance regarding parking requirements, I note that in their communication with the appellant they consider that for every 2 bedrooms 1 parking space should be provided.

13. I find that, given the submissions before me and my observations on site, the streets surrounding the appeal site could accommodate an increase in demand for on-street parking by 1 vehicle. However, even if the proposal generates 2 car, 1 per bedroom, I find that the surrounding streets could accommodate such an increase.
14. In light of the above there would be no unacceptable impact on highway safety as a result of the modest increased demand for on-street parking associated with the proposal. It would therefore comply with Chapter 9 of the Framework, including Paragraphs 110-113 regarding, amongst other things, preventing unacceptable impacts to highway safety.

Other Matters

15. A plan (drawing number 0391-3-11-20 rev B) showing a reduced number of bedrooms has been submitted as part of this appeal as a potential fallback. This fallback scheme would provide 7 bedrooms and would retain the lounge's access to the front bay window. It is not clear however, whether it would be intended to still provide accommodation for 8 people across the 7 bedrooms.
16. No information has been provided as to whether planning permission has been granted for this alternative scheme or that it could be carried out under permitted development. Without substantive evidence to the contrary, I cannot be certain that it would be possible to carry out this development. As such, I find there to be a less than theoretical possibility of the fallback scheme being carried out and it has therefore not been determinative in my considerations.

Conclusion

17. The Government's objective is to significantly boost the supply of housing and the proposal would provide two new rooms in an existing HMO. It would also lead to a small and time-limited economic benefit during the construction phase, as well as some limited social and economic benefits resulting from future occupiers. Given the small scale of the proposal these matters would at most attract modest weight.
18. Conversely, the proposal would result in harm to the living conditions of future occupiers, in conflict with the development plan taken as a whole. This attracts significant weight and outweighs the benefits associated with the proposed development.
19. The proposal would therefore conflict with the development plan and there are no other considerations, including the Framework, that outweigh this conflict. Therefore, for the reasons outlined above, I conclude that the appeal should be dismissed.

Samuel Watson

INSPECTOR



Appeal Decision

Site visit made on 8 August 2023

by **Gary Deane BSc (Hons) DipTP MRTPI**

an Inspector appointed by the Secretary of State

Decision date: 17 August 2023

Appeal Ref: APP/G4620/D/23/3324076

32 Kenilworth Road, Oldbury B68 0ND

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Mr Ardian Lekgegaj against the decision of Sandwell Metropolitan Borough Council.
 - The application Ref DC/23/68038, dated 28 February 2023, was refused by notice dated 9 May 2023.
 - The development proposed is the erection of a single and 2-storey rear extension, hip to gable roof extension, loft conversion and rear dormer window.
-

Decision

1. The appeal is dismissed.

Procedural matter

2. While the appellant has described the proposal as in the above heading, the Council has additionally referred to rendering at the front side, and rear of the dwelling. I also note that the plans show additional windows to the side elevation of the main house. I have proceeded on that basis.

Main issues

3. The main issues are the effect of the proposed development firstly, on the character and appearance of the host building and the local area; and secondly, on the living conditions of the occupiers of 30 and 34 Kenilworth Road with particular regard to light.

Reasons

Character and appearance

4. The appeal property is one of a pair of hip-ended semi-detached houses in a predominantly residential area within which 2-storey dwellings predominate. I saw that there is some variety to the size and style of existing dwellings in the area to which the site belongs with those close along Kenilworth Road and nearby streets mostly with hipped roofs.
5. The proposed part single, part 2-storey addition would be at the back of the appeal dwelling and extend across its full width. The new ground floor element would project outwards from the main rear wall by about 6-metres, with a smaller first floor component extending rearwards by about half this depth. This arrangement would elongate the built form of No 32, significantly enlarge its footprint, and noticeably add to its scale and mass.

6. The submitted design is simple. That the walls of the existing dwelling would be rendered to match those of the new rear extension would also unify the general appearance of the finished building. Nevertheless, the proposal would be disproportionate in scale, mass, and depth to the host building. The rear of No 32 would be overwhelmed by the considerable scale and mass of the new extension, the bulk of which would be accentuated by the visually strong horizontal lines of its flat roofs. The new dormer would also be a sizeable addition covering most of the existing and new rear roof slope. The considerable width and height of the new dormer, with its flat roof just below ridge level, would cause it to appear as an overly large 'box like' addition.
7. Views of the proposed rear extension and dormer from public vantage points would be very limited given their position at the back of the main house, away from the road. These elements of the appeal scheme would, however, still form part of the characteristics of the area as it is experienced and appreciated from nearby houses and gardens. When viewed from the rears of the properties on either side of the site, the proposal would draw the eye as a dominant and uncharacteristically large and bulky addition.
8. At the front, the proposed hip to gable extension would imbalance the pair of which No 32 forms part given that the attached property has retained its original hipped roof. It would also noticeably differ to the predominantly hipped roof form that generally characterises most buildings along Kenilworth Road. As such, the proposed hip to gable extension would be a visually disruptive and an unwelcome addition to the street scene and the local area.
9. Policy SAD EOS 9 of The Site Allocations and Delivery Development Plan Document (DPD) states that the Council will reject poor designs, particularly those that are inappropriate in their locality, for example, those that are out of scale or incompatible with their surroundings. The Council's Supplementary Planning Document, *Revised Residential Design Guide* (SPD) echoes this approach. The SPD notes that poor quality domestic extensions that do not fit in visually or are clearly out of keeping with their surroundings will be resisted. For the reasons given, that would be the case with the proposal before me.

Living conditions

10. Of the properties close to the site, it is the occupiers of 30 and 34 Kenilworth Road, which are situated on either side of the appeal dwelling, that are most likely to be affected by the proposal. Because the appeal scheme would be to the north to northwest of No 34 there would be no significant effect on the natural light reaching the rear of this attached property.
11. There would be some loss of sunlight to the rear of No 30 during a major part of the day. That loss would be primarily caused by the overshadowing effect of the 2-storey element of the new rear extension just to the south and close to the shared boundary between these neighbouring properties. However, from what I saw, No 30 occupies an elevated position relative to the site due to the sloping ground. In addition, the 2-storey part of the proposed extension would not project significantly beyond the existing rear elevation of No 30. As a result of both factors, the loss of daylight and sunlight due to the proposal would not be appreciable insofar as it is experienced by the occupiers of this adjacent property.

Conclusion on the main issues

12. Overall, I find that there would be no material harm to the amenities enjoyed by the occupiers of neighbouring properties. However, the proposed development would have an unacceptable effect on the character and appearance of the existing dwelling and the local area. Accordingly, it conflicts with Policy ENV3 of the Black Country Core Strategy, DPD Policy SAD EOS 9 and the Council's SPD. These policies and guidance aim to ensure that new development achieves the highest possible design standards and is compatible with its surroundings.

Other matters

13. The appellant states that the proposed dormer and the hip to gable extension could be carried out in any event through the exercise of permitted development rights. Whether or not that is the case, these elements of the appeal scheme are not clearly severable from the rear extension and planning permission is sought for the development in its entirety. I have assessed the proposal on that basis. If the appellant wishes to ascertain whether a part of the development would be lawful, they may make an application under section 191/192 of the Act.

14. I acknowledge that the application of render would provide an opportunity to resolve problems of maintaining the existing brickwork, which is painted. However, this consideration does not outweigh the significant harm that I have identified.

Conclusion

15. The proposed development would conflict with the development plan, when read as a whole. There are no material considerations, including the policies of the National Planning Policy Framework, which indicate that the decision should be taken otherwise than in accordance with the development plan.

16. For the reasons set out above, and having regard to all other matters raised, I therefore conclude that the appeal should be dismissed.

Gary Deane

INSPECTOR

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Report to the Planning Committee

6 September 2023

Subject:	Applications Determined Under Delegated Powers
Director:	Director of Regeneration and Growth Tony McGovern
Contact Officer:	John Baker Service Manager – Development Planning and Building Consultancy John_Baker@sandwell.gov.uk Alison Bishop Development Planning Manager Alison_Bishop@sandwell.gov.uk

1 Recommendations


- 1.1 That the Planning Committee notes the applications determined under delegated powers by the Director – Regeneration and Growth set out in the attached Appendix.

2 Reasons for Recommendations

- 2.1 This report is submitted to inform the Committee of the decisions on applications determined under delegated powers by the Director – Regeneration and Growth.



3 How does this deliver objectives of the Corporate Plan?

		We now have many new homes to meet a full range of housing needs in attractive neighbourhoods and close to key transport routes.
		Our distinctive towns and neighbourhoods are successful centres of community life, leisure and entertainment where people increasingly choose to bring up their families.
		Sandwell now has a national reputation for getting things done, where all local partners are focused on what really matters in people's lives and communities.

4 Context and Key Issues

4.1 The applications determined under delegated powers are set out in the Appendix.

5 Alternative Options

There are no alternative options.

6 Implications

Resources:	There are no implications in terms of the Council's strategic resources.
Legal and Governance:	The Director – Regeneration and Growth has taken decisions in accordance with powers delegated under Part 3 (Appendix 5) of the Council's Constitution.
Risk:	There are no risk implications associated with this report.
Equality:	There are no equality implications associated with this report.



Health and Wellbeing:	There are no health and wellbeing implications associated with this report.
Social Value	There are no implications linked to social value with this report.
Climate Change	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

7 Appendices

Appendix 1 - Applications determined under delegated powers by the Director – Regeneration and Growth.

SANDWELL METROPOLITAN BOROUGH COUNCIL
PLANNING COMMITTEE

Applications determined under delegated powers by the Director – Regeneration and Growth since your last Committee Meeting

REPORT FOR INFORMATION PURPOSES ONLY

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/67886 Wednesbury South	Land Adjacent Tame Valley Canal Golds Hill Way Tipton	Proposed electrical connection between the approved Ocker Hill Battery Storage Facility (planning application reference: DC/21/65690) and National Grid's Substation.	Grant Permission Subject to Conditions 9th August 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/6840A Blackheath	Land At Horner Way Rowley Regis	3 No. internally-illuminated fascia signs, 1 No. non-illuminated fascia sign, 1 No. internally-illuminated projecting sign, 1 No. internally-illuminated double-sided pole sign, 1 No. Single & 1 No. Triple Digital Menu, 1 No. internally-illuminated double-sided cantilever LH post height barrier sign, 2 No. non-illuminated banner frames, 1 No. internally-illuminated freestanding sign, 1 No. non-illuminated freestanding sign and 3 No. non-illuminated panel (lamppost) signs in connection with the use of the site as a coffee shop with drive through facility.	Grant Advertisement Consent 3rd August 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68118 West Bromwich Central	103 - 108 Kings Square West Bromwich B70 7NN	Proposed part change of use of ground floor retail units (Use Class Ea) to new indoor market with first floor staff facilities, which includes the sale of food and non-food products, as well as hot food for consumption on and off the premises, change of use of part of one retail unit at ground floor and part of three units at first floor into new commercial business use (Use Class Ec), external alterations and new sub station.	Grant Permission Subject to Conditions 2nd August 2023
DC/23/68168 Tipton Green	341A Dudley Port Tipton DY4 7PP	Demolition of existing building and canopy and proposed Industrial unit.	Grant Permission Subject to Conditions 4th August 2023
DC/23/68179 Abbey	482 Bearwood Road Smethwick B66 4HA	Proposed change of use from butchers shop to hot food takeaway.	Grant Permission Subject to Conditions 4th August 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68208 Soho & Victoria	42 Corbett Street Smethwick B66 3PU	Proposed variation of condition 1 of planning permission DC/19/63255 (Proposed conversion of existing house and three storey rear extension to create 4 No. self-contained flats). Proposed prism roof extension to rear, mono pitched roof to ground floor rear extension and fenestration alterations.	Grant Permission Subject to Conditions 19th July 2023
DC/23/68216 Oldbury	93 Dingle Street Oldbury B69 2DZ	Proposed change of use from dwelling (Class C3) to residential children's home for up to three children (Class C2).	Refuse permission 15th August 2023
DC/23/68223 Tipton Green	3 Cory Croft Tipton DY4 8TY	Proposed conversion of garage, and single storey front and side extension.	Grant Permission with external materials 4th August 2023
DC/23/68230 Great Barr With Yew Tree	Gateway Service Station 76 Birmingham Road Great Barr Birmingham B43 6NT	Retention of jet wash machine and Amazon Locker.	Grant Conditional Retrospective Consent 7th August 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68231 Wednesbury South	Units 1-15 And 20-30 G W S Trading Estate Leabrook Road Wednesbury WS10 7NB	Proposed variation of Condition 1 of planning permission DC/20/65038 (Proposed demolition of existing buildings and construction of an Industrial (Class B2), and Storage or Distribution unit (Class B8) with ancillary offices and associated parking, access and landscaping) - to amend elevations.	Grant Permission Subject to Conditions 21st July 2023
DC/23/68232 Greets Green & Lyng	69 Stour Street West Bromwich B70 9AU	Proposed change of use of existing outbuilding from storage/gym to self-contained garden studio flat.	Withdrawn 2nd August 2023
DC/23/68240 Charlemont With Grove Vale	65 Hartland Road West Bromwich B71 3DF	Proposed annexe to rear.	Grant Permission Subject to Conditions 14th July 2023
DC/23/68250 Langley	35 Sycamore Road Oldbury B69 4TD	Proposed single storey side extension.	Grant Permission with external materials 14th August 2023
DC/23/68249 Smethwick	366 Thimblemill Road Smethwick B67 6PU	Proposed single storey building at rear for Financial and professional services.	Refuse permission 19th July 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
PD/23/02396 Great Barr With Yew Tree	41 Birmingham Road Great Barr Birmingham B43 6NX	Proposed single storey rear extension measuring: 6.00m L x 4.00m H (2.70m to eaves).	P D Householder not required 14th July 2023
DC/23/68253 Tipton Green	7 Standbridge Way Tipton DY4 8TS	Demolition of existing conservatory, raising of roof height for loft conversion, proposed single and two storey rear and front extensions with porch to front	Grant Permission with external materials 21st July 2023
DC/23/68266 Wednesbury South	35 Peters Street West Bromwich B70 0HT	Proposed first floor side and rear extension and new drop kerb.	Grant Permission Subject to Conditions 24th July 2023
DC/23/68268 Newton	92 Green Lane Great Barr Birmingham B43 5LG	Proposed single and two storey rear/side extension, and single storey front extension (amendment to approved application DC/21/66076).	Grant Permission with external materials 17th July 2023
DC/23/68270 West Bromwich Central	6 St Kenelms Close West Bromwich B70 6TQ	Retention of single storey rear/side extension.	Grant Retrospective Permission 19th July 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68280 St Pauls	Grinsells Skip Hire Limited Yard C Parkrose Industrial Estate Middlemore Road Smethwick B66 2DZ	Proposed two storey detached office and canteen building, 1 No. workshop and 3 No. covered recycling storage bays.	Grant Permission Subject to Conditions 7th August 2023
DC/23/68276 Great Barr With Yew Tree	34 Anderson Crescent Great Barr Birmingham B43 7ST	Proposed single storey garage extension, and conversion into an office/gym and games room.	Grant Permission Subject to Conditions 14th July 2023
DC/23/68277 Tipton Green	Manor House Manor Road Tipton DY4 8PR	Proposed single and two storey side extensions.	Grant Permission Subject to Conditions 16th August 2023
DC/23/68285 Great Barr With Yew Tree	48 Carter Road Great Barr Birmingham B43 6JP	Proposed pitched roof over existing two storey extension.	Grant Permission with external materials 21st July 2023
DC/23/68287 Oldbury	18 Hellier Avenue Tipton DY4 7RN	Proposed single storey rear extension (Lawful Development Certificate).	Grant Lawful Use Certificate 9th August 2023
DC/23/68294 Oldbury	The Compound Broadwell Road Oldbury B69 4BL	Proposed car port.	Grant Permission Subject to Conditions 4th August 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
PD/23/02404 Great Bridge	4 Deeley Drive Tipton DY4 7DW	Proposed single storey rear extension measuring: 6.06m L x 3.66m H (3.00m to eaves)	P D Householder not required 14th July 2023
DC/23/68297 St Pauls	M And J Seafood Limited Potterton Way Smethwick B66 1AF	Proposed palisade fencing and front gates to site boundary, 6 No. external lighting columns and associated works.	Grant Permission Subject to Conditions 2nd August 2023
DC/23/68298 Smethwick	7 Manor Road Smethwick B67 6SA	Proposed single storey front extension.	Refuse permission 14th July 2023
DC/23/68300 Greets Green & Lyng	The Railway Inn 96 Bromford Road West Bromwich B70 7JB	Proposed single storey rear/side extension and external alterations.	Grant Permission with external materials 19th July 2023
DC/23/68301 Wednesbury North	Land Adjacent 20 Spring Head Wednesbury	Retention of 1 No. flat to 2 No. flats in loft, with external alterations to roof (amendment to planning application DC/19/62572).	Grant Retrospective Permission 14th July 2023
PD/23/02406 Abbey	29 Dunsford Road Smethwick B66 4EH	Proposed single storey rear extension measuring: 6.00m L x 3.26m H (2.94m to eaves)	P D Householder not required 19th July 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68305 Great Barr With Yew Tree	21 George Road Great Barr Birmingham B43 6LG	Proposed single storey rear/side extension.	Grant Permission with external materials 17th July 2023
DC/23/68306 Abbey	79 Wigorn Road Smethwick B67 5HG	Proposed change of use from retail shop to residential with front external alterations.	Grant Permission with external materials 2nd August 2023
DC/23/68307 Great Bridge	9 Dovecote Close Tipton DY4 7QZ	Proposed single storey rear and side extension.	Grant Permission with external materials 14th July 2023
DC/23/68308 Bristnall	100 Pound Road Oldbury B68 8NB	Proposed single storey front, one and two storey side and single storey rear extension with dormer window to rear.	Grant Permission with external materials 14th July 2023
DC/23/68310 Charlemont With Grove Vale	25 Chartley Road West Bromwich B71 1QU	Proposed single storey rear and side extension.	Grant Permission with external materials 19th July 2023
DC/23/68315 Great Bridge	78 Scott Street Tipton DY4 7AG	Proposed single storey rear/side extension.	Grant Permission with external materials 21st July 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68318 Cradley Heath & Old Hill	Land At The Junction Of Peartree Lane Petford Street Cradley Heath	Proposed 9 No. residential dwellings with parking, landscaping and retaining rear wall to plots 6-9.	Grant Permission Subject to Conditions 4th August 2023
DC/23/68319 Old Warley	14 Pitfields Road Oldbury B68 0RQ	Proposed change of use from detached garage in rear garden to a beauty salon.	Grant Conditional Temporary Permission 11th August 2023
DC/23/68320 Charlemont With Grove Vale	35 Haywoods Farm West Bromwich B71 3QE	Proposed single storey rear and side extension.	Grant Permission with external materials 24th July 2023
DC/23/68321 Charlemont With Grove Vale	49 Sheldon Road West Bromwich B71 3DD	Proposed conversion of roof space to habitable bedroom, including velux windows to front, and dormer to rear (Lawful Development Certificate).	Grant Lawful Use Certificate 17th July 2023
DC/23/68322 Rowley	117 Powke Lane Cradley Heath B64 5PX	Proposed change of use of whole of ground floor from hot food takeaway and retail unit into a single occupancy hot food takeaway including new shop front.	Grant Permission Subject to Conditions 19th July 2023
DC/23/68323 Tividale	4 Huskison Close Oldbury B69 1LZ	Proposed change of use from dwelling to residential home for 3 No. young people aged between 7-18 years old.	Refuse permission 21st July 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68325 Hateley Heath	7 Lellow Street West Bromwich B71 2HP	Proposed access platform lift.	Grant Permission 21st July 2023
DC/23/68326 Blackheath	37 Mackmillan Road Rowley Regis B65 8AR	Proposed single storey rear extension.	Grant Permission with external materials 21st July 2023
DC/23/68329 Wednesbury North	7 Vimy Road Wednesbury WS10 9BQ	Proposed single storey rear extension.	Grant Permission with external materials 26th July 2023
DC/23/68332 St Pauls	32 Heather Road Smethwick B67 7LW	Proposed two/single storey rear and first floor side extensions, front porch extension, raising of roof height and roof alterations, loft conversion, rear dormer window, new front boundary wall with railings and sliding front gate.	Refuse permission 19th July 2023
DC/23/68333 Hateley Heath	64 Crockford Road West Bromwich B71 2ET	Proposed single storey rear extension, front porch, and loft conversion from hip to gable with rear dormer and two roof lights to front(Lawful Development Certificate).	Grant Lawful Use Certificate 9th August 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68334 Cradley Heath & Old Hill	165 - 173 Halesowen Road Cradley Heath B64 6HX	Proposed 5. No new shop fronts, first floor external refurbishment of front/side with over clad standing seam panels and fenestration alterations and first floor side/rear external render.	Grant Permission 14th July 2023
DC/23/68335 Cradley Heath & Old Hill	165 - 173 Halesowen Road Cradley Heath B64 6HX	Proposed change of use of first floor from gym/sports bar to 5 No. self-contained flats, new vehicle access gates, external staircase and walkway, enclosed bin store, cycle shelter and parking to rear.	Grant Permission Subject to Conditions 14th July 2023
DC/23/68336 Great Bridge	7 Crownmeadow Drive Tipton DY4 0LE	Retention of single storey side extension.	Grant Retrospective Permission 28th July 2023
DC/23/68337 Charlemont With Grove Vale	19 Monksfield Avenue Great Barr Birmingham B43 6AP	Proposed single and two storey rear and front extensions, single and two storey side extensions and porch to front (expired planning permission DC/19/62798).	Grant Permission Subject to Conditions 2nd August 2023
PD/23/02420 Tipton Green	49 Tudor Street Tipton DY4 8UR	Proposed single storey rear extension measuring: 6.00m L x 3.75m H (2.75m to eaves)	P D Householder not required 14th July 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68342 Great Barr With Yew Tree	63 Peak House Road Great Barr Birmingham B43 7RY	Proposed single storey side and rear extension.	Grant Permission with external materials 14th July 2023
DC/23/68343 Old Warley	57 Broadway Oldbury B68 9DP	Pursuant to planning applications DC/19/63418 and DC/22/67688 proposed enlargement of single and two storey rear extensions.	Grant Permission with external materials 7th August 2023
DC/23/68344 Soho & Victoria	171 Cape Hill Smethwick B66 4SH	Proposed single storey side/rear extension.	Refuse permission 14th July 2023
DC/23/68345 Smethwick	29 Hayes Road Oldbury B68 9SR	Proposed single and two storey side extension, and single storey rear and front extensions.	Grant Permission with external materials 4th August 2023
DC/23/68346 Wednesbury South	88 Dial Lane West Bromwich B70 0EG	Proposed single and two storey rear extension, and vehicle access.	Grant Permission with external materials 2nd August 2023
PD/23/02421 Greets Green & Lyng	37 Dawes Avenue West Bromwich B70 7LR	Proposed single storey rear extension measuring: 5.20m L x 3.00m H (2.50m to eaves).	P D Householder not required 14th July 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68350 Smethwick	210 Londonderry Lane Smethwick B67 7EN	Proposed single storey side extension.	Grant Permission with external materials 21st July 2023
DC/23/68352 Wednesbury South	Land Adjacent To 88 Dial Lane West Bromwich B70 0EG	Proposed 3 bed dwelling.	Grant Permission Subject to Conditions 18th August 2023
DC/23/68353 Abbey	66 Woodbourne Road Smethwick B67 5NB	Proposed single and two storey side and rear extension, front porch and loft conversion with dormer to rear (amendment to previously approved application DC/22/67225).	Grant Permission Subject to Conditions 4th August 2023
PD/23/02424 Wednesbury South	7 Narraway Grove Tipton DY4 0QH	Proposed single storey rear extension measuring: 5.50m L x 3.90m H (2.90m to eaves)	P D Householder not required 19th July 2023
PD/23/02425 St Pauls	113 Victoria Road Oldbury B68 9UL	Proposed single storey rear extension measuring: 3.50m L x 3.00m H (2.70m to eaves)	P D Householder not required 14th July 2023
PD/23/02426 Oldbury	48 Ashtree Road Oldbury B69 2HD	Proposed single storey rear extension measuring: 6.00m L x 4.00m H (2.70m to eaves)	P D Householder not required 19th July 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68355 Newton	95 Green Lane Great Barr Birmingham B43 5LG	Proposed first floor side extension and outbuilding to rear.	Grant Permission with external materials 7th August 2023
DC/23/68356 St Pauls	117 St Pauls Road Smethwick B66 1EZ	Proposed single storey side extension and garage conversion.	Grant Permission Subject to Conditions 7th August 2023
DC/23/68357 Abbey	9 Merrivale Road Smethwick B66 4EJ	Proposed hip to gable loft conversion with dormer to rear (Lawful Development Certificate).	Grant Lawful Use Certificate 26th July 2023
PD/23/02428 Smethwick	23A Littlemoor Hill Smethwick B67 7BG	Proposed single storey rear extension measuring: 6.00m L x 2.50m H (2.50m to eaves)	P D Householder not required 14th July 2023
PD/23/02430 Smethwick	86 Auckland Road Smethwick B67 7AT	Proposed single storey rear extension measuring: 4.00m L x 4.00m H (2.70m to eaves)	P D Householder not required 21st July 2023
DC/23/68359 Cradley Heath & Old Hill	26 Codsall Road Cradley Heath B64 7DZ	Proposed two storey side extension, porch extension to front, and single storey rear extension.	Grant Permission with external materials 2nd August 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68361 Charlemont With Grove Vale	63 Longleat Great Barr Birmingham B43 6PY	Proposed single and two storey side and rear extension with rear balcony, single storey front extension, and porch.	Grant Permission with external materials 11th August 2023
PD/23/02433 Tipton Green	12 Richmond Aston Drive Tipton DY4 8GD	Proposed single storey rear extension measuring: 8.00m L x 4.00m H (3.00m to eaves).	P D Householder required and granted 19th July 2023
DC/23/68363 Wednesbury South	7 Hawkins Street West Bromwich B70 0QR	Proposed single storey side/rear extension (amendment to previous application DC/23/68036).	Grant Permission with external materials 4th August 2023
DC/23/68364 Wednesbury North	32 Dingley Road Wednesbury WS10 9PU	Proposed single storey side extension.	Grant Permission with external materials 9th August 2023
DC/23/68365 Smethwick	19 Bartleet Road Smethwick B67 7RD	Proposed single storey front extension, internal alterations, garage conversion and a secondary dropped kerb to front driveway.	Grant Permission with external materials 19th July 2023
DC/23/68368 Charlemont With Grove Vale	16 Pear Tree Close Great Barr Birmingham B43 6JB	Proposed two storey side extension, single and two storey front and rear extensions, and tiled canopy to front.	Grant Permission with external materials 2nd August 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68369 St Pauls	161 Holly Lane Smethwick B67 7JD	Proposed variation of condition 3 of planning permission DC/23/68180 - to amend opening hours to 09:00 to 19:00 Mondays to Saturdays and 09:00 to 17:00 Sundays and Public Holidays.	Grant Conditional Temporary Permission 16th August 2023
DC/23/68373 Wednesbury North	38 Upper High Street Wednesbury WS10 7HJ	Proposed single storey building to rear, and first and second floor extension with dormers to rear to create an additional 3. No. HMO's.	Grant Permission Subject to Conditions 2nd August 2023
PD/23/02436 West Bromwich Central	2 Roebuck Lane West Bromwich B70 6QP	Proposed conversion of shop premises (Use Class E) into 2 x flats (Use Class C3).	P D Shops to Resi Required and Granted 4th August 2023
DC/23/68376 Rowley	16 Allsops Close Rowley Regis B65 8JB	Proposed two storey side extension.	Grant Permission with external materials 11th August 2023
PD/23/02438 Rowley	6 Bluebell Road Cradley Heath B64 5NP	Proposed single storey rear extension measuring: 6.00m L x 4.00m H (2.80m to eaves).	P D Householder not required 19th July 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
PD/23/02439 Langley	145 Farm Road Oldbury B68 8PN	Proposed single story rear extension measuring: 6.00m L x 3.30m H (3.00m to eaves).	P D Householder not required 18th August 2023
DC/23/68377 Old Warley	11 Edward Road Oldbury B68 0LZ	Proposed single storey front, side and rear extensions.	Grant Permission with external materials 9th August 2023
DC/23/68380 Bristnall	13 Edmonds Road Oldbury B68 9AR	Proposed two storey side extension, front porch, loft conversion and rear dormer window (Revision to approved planning permission DC/20/64253).	Grant Permission with external materials 7th August 2023
DC/23/68382 Greets Green & Lyng	12 Young Street West Bromwich B70 9TU	Proposed single and two storey rear extension, and two storey side extension.	Grant Permission with external materials 16th August 2023
DC/23/68383 Wednesbury South	15 Tame Crossing Wednesbury WS10 0DT	Proposed garage conversion with single storey front/side extension.	Refuse permission 21st August 2023
DC/23/68385 Tipton Green	34 Kirkham Way Tipton DY4 8TW	Demolition of existing conservatory, and proposed single storey rear extension.	Grant Permission with external materials 18th August 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68387 Wednesbury South	7 River Walk Wednesbury WS10 0DE	Proposed single storey rear extension, and alterations to front facade to incorporate a double height glazed entrance.	Grant Permission with external materials 18th August 2023
DC/23/68389 Langley	3 Whyley Walk Oldbury B69 4SB	Proposed single storey rear extension (Lawful Development Certificate).	Grant Lawful Use Certificate 7th August 2023
DC/23/68392 Langley	28 Parkfield Road Oldbury B68 8PS	Proposed two storey side and single storey side/rear extensions.	Grant Permission Subject to Conditions 21st August 2023
DC/23/68393 Soho & Victoria	32 Grange Road Smethwick B66 4NQ	Proposed single storey rear extension.	Grant Permission with external materials 19th July 2023
DC/23/68394 Soho & Victoria	64 Victoria Park Road Smethwick B66 3QL	Proposed single storey side and rear extensions and part garage conversion into habitable room (Re-submission of refused planning application DC/22/67638).	Grant Permission with external materials 14th August 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68397 Tividale	17 Huskison Close Oldbury B69 1LZ	Proposed two storey side and single storey side/rear extensions, front canopy and garage conversion into habitable room.	Grant Permission with external materials 19th July 2023
DC/23/68398 Smethwick	55 Primrose Hill Smethwick B67 6RD	Proposed 2.1m high wall and railings to side and rear.	Grant Permission Subject to Conditions 4th August 2023
DC/23/68399 Bristnall	109 Hurst Road Smethwick B67 6LY	Proposed two storey side/rear and single storey rear extensions, hip to gable roof extension, loft conversion and rear dormer window (Revision to approved planning permission DC/22/67053).	Refuse permission 9th August 2023
DC/23/68400 Oldbury	Shri Venkateswara Balaji Temple UK 101 Dudley Road East Tividale Oldbury B69 3DU	Proposed demolition of existing stores and servery and construction of detached single storey café and visitors centre (Revision to approved planning permission DC/22/67575).	Grant Permission Subject to Conditions 16th August 2023
DC/23/68401 Wednesbury North	16 Rooth Street Wednesbury WS10 9QP	Demolition of existing conservatory and proposed single storey rear extension.	Grant Permission with external materials 14th August 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
PD/23/02444 Hateley Heath	5 Griffiths Road West Bromwich B71 2EH	Proposed single storey rear extension measuring: 6.00m L x 3.00m H (3.00m to eaves)	P D Householder not required 26th July 2023
DC/23/68406 Greets Green & Lyng	46 Westbourne Road West Bromwich B70 8LD	Retention of annexe to rear to be used as home office and storage area.	Refuse permission 17th August 2023
DC/23/68411 Soho & Victoria	273 Montague Road Smethwick B66 4PJ	Proposed garage conversion into habitable room.	Grant Permission with external materials 17th August 2023
DC/23/68412 Princes End	Los Garden 124 High Street Princes End Tipton DY4 9JA	Retention of hot food takeaway (Lawful Development Certificate).	Grant Lawful Use Certificate 16th August 2023
PD/23/02445 Friar Park	107 Carrington Road Wednesbury WS10 0JJ	Proposed single storey rear extension measuring: 6.00m L x 3.90m H (2.90m to eaves).	P D Householder not required 2nd August 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68408 Abbey	616 Bearwood Road Smethwick B66 4BW	Pursuant to planning applications DC/20/64484, DC/22/66692 and DC/23/67938, proposed three storey rear extension to accommodate an additional 4 No. bedsits with bicycle parking facilities, refuse and recycling storage, and external staircases to rear.	Refuse permission 18th August 2023
DC/23/68409 Oldbury	3 Portland Drive Tividale Oldbury B69 3LJ	Proposed detached garage with boundary wall and gate to side of property.	Grant Permission with external materials 26th July 2023
DC/23/68415 St Pauls	10 Bowden Road Smethwick B67 7PA	Proposed single storey side/rear extension.	Grant Permission with external materials 16th August 2023
DC/23/68418 Bristnall	10 Barnfordhill Close Oldbury B68 8ES	Proposed variation of condition 1 of planning permission DC/20/64803 to enlarge porch, include two front facing dormer windows, enlargement of first floor side extension and alterations to fenestration arrangements.	Refuse permission 2nd August 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68422 St Pauls	45 Giles Road Oldbury B68 8JQ	Proposed single storey front extension.	Refuse permission 11th August 2023
DC/23/68423 Tipton Green	6 Menin Road Tipton DY4 8DW	Proposed single and two storey side extension, single storey rear extension, basement extension, and retaining wall and steps to rear garden (previously refused application DC/23/68140).	Grant Permission with external materials 11th August 2023
DC/23/68424 Smethwick	236 Londonderry Lane Smethwick B67 7EN	Proposed single storey side and rear extension.	Grant Permission Subject to Conditions 18th August 2023
DC/23/68429 Blackheath	33 Central Avenue Rowley Regis B65 8BA	Proposed front porch (Re-submission of approved planning permission DC/20/64364).	Grant Permission with external materials 14th August 2023
DC/23/6854A Princes End	Advertisement Hoarding 60 High Street Princes End Tipton	Proposed replacement digital poster display.	Grant Conditional Advertisement Consent 21st August 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
PD/23/02449 Langley	Telecommunications Mast SWL098018 Verge Fronting ASDA Wolverhampton Road Oldbury	Proposed 20.0m high Orion V2 telecommunications pole on T9 root foundations, 1 No. GPS module, 6 No. antennas, 2 No. 300 dishes, equipment cabinets and associated ancillary works.	Prior Approval is Required and Granted 9th August 2023
DC/23/68430 Wednesbury North	35 Myvod Road Wednesbury WS10 9QD	Proposed single storey rear extension.	Grant Permission with external materials 21st August 2023
DC/23/6855A West Bromwich Central	1 Providence Place And Land Off Sandwell Road West Bromwich	Proposed 2 No. non- illuminated lettering and fascia signs (Providence Place) and 1 No. non- illuminated lettering and fascia sign (Sandwell Road Sports Hall).	Grant Advertisement Consent 28th July 2023
DC/23/68435 West Bromwich Central	Barclays 313 High Street West Bromwich	Proposed removal of 2 No. automated teller machines (ATM) and replacement with 1 No. automated teller machine (ATM).	Grant Permission 9th August 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68436 Oldbury	Units 4 And 5 Oldbury Green Retail Park Oldbury Ringway Oldbury B69 3DD	Proposed amalgamation of units 4 and 5 with single storey rear extension, loading bay docking structure and plant room enclosure with palisade fencing to rear, external alterations and new glazed shop frontages (Revision to approved planning permission DC/23/67955).	Grant Permission Subject to Conditions 9th August 2023
DC/23/68444 Charlemont With Grove Vale	28 Sheldon Road West Bromwich B71 3JB	Proposed level access platform and ramps to front, side and rear of property with handrails.	Grant Permission with external materials 18th August 2023
PD/23/02453 Friar Park	73 Manor Road Wednesbury WS10 0HT	Proposed single storey rear extension measuring: 4.00m L x 3.90m H (2.90m to eaves).	P D Householder not required 7th August 2023
DC/23/68452 Bristnall	24 Siskin Close Oldbury B68 9LT	Proposed single storey rear extension.	Grant Permission Subject to Conditions 18th August 2023
PD/23/02454 Soho & Victoria	Darcast Crankshafts Limited Cornwall Road Smethwick B66 2JR	Proposed demolition of former factory and associated outbuildings.	Grant Demolition Conditional Consent 2nd August 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
PD/23/02455 Bristnall	22 Goodyear Road Smethwick B67 6JZ	Proposed single storey rear extension measuring: 6.0m L x 4.0m H (2.7m to eaves).	P D Householder not required 16th August 2023
PD/23/02456 Rowley	Edwin Richards Quarry Portway Road Rowley Regis	Proposed demolition of former laboratory building.	Grant Demolition Consent 18th August 2023
DC/23/68453 Bristnall	37 Pavilion Avenue Smethwick B67 6LD	Proposed single storey outbuilding in rear garden (Revision to refused application DC/23/68187) (Lawful Development Certificate).	Grant Lawful Use Certificate 14th August 2023
PD/23/02458 Rowley	Cranford 22 Doulton Road Rowley Regis B65 8JW	Proposed single storey rear extension measuring: 3.4m L x 3.5m H (2.5m to eaves).	P D Householder not required 14th August 2023
PD/23/02460 Bristnall	24 Pryor Road Oldbury B68 9QH	Proposed single storey rear extension measuring: 6.00m L x 2.60m H (2.40m to eaves).	Permitted Development Refused 14th July 2023
PD/23/02464 Bristnall	84 Landswood Road Oldbury B68 9QW	Proposed single storey rear extension measuring: 6.00m L x 3.90m H (2.90m to eaves).	P D Householder not required 18th August 2023

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